

MAY 30 2019

STATE OF MICHIGAN
IN THE LIVINGSTON COUNTY CIRCUIT COURT

MITCH HARRIS BUILDING
COMPANY, INC.,
a Michigan corporation,

Plaintiff,

v

MARION TOWNSHIP,
a Michigan general law township,

Defendant.

Case No. 17- 29322- CZ
Hon. A. John Pikkarainen

FILED
LIVINGSTON COUNTY CLERK
19 MAY 30 PM 1:05

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CONSENT JUDGMENT

At a session of said Court held in the City of Howell,
Livingston County, State of Michigan
on the 30 day of May, 2019

PRESENT: THE HONORABLE A. JOHN PIKKARAINEN, Circuit Court Judge

Upon stipulation and consent of the parties, by and through their respective counsel, this Court finds as follows:

1. Plaintiff Mitch Harris Building Company, Inc. (“Plaintiff”) is the owner of certain real property consisting of approximately 11.65 acres as more particularly described in Exhibit A attached hereto and incorporated herein (the “Subject Property”).

2. Defendant Marion Township (“Defendant” or the “Township”) is a general law township organized and existing under the laws of the state of Michigan located in Livingston County.

3. The Subject Property is bounded to the west by Peavy Road and to the east by The Meadows Condominium, a residential condominium project developed and constructed by Plaintiff in accordance with the Michigan Condominium Act, MCL 559.101, *et seq.* (the “Act”).

4. The Subject Property was designated as the “South Future Expandable Area” in the duly recorded Master Deed for The Meadows Condominium.

5. A dispute thereafter arose between the parties regarding the right of Plaintiff to develop the Subject Property as a residential condominium project to be known as Meadows West as an expansion of The Meadows Condominium under the Act.

6. Plaintiff filed its Complaint in this action seeking a declaratory judgment that Plaintiff is entitled to expand The Meadows condominium project to include the development of Meadows West under the Act.

7. The Township filed an Answer opposing Plaintiff’s request for a declaratory judgment.

8. On April 12, 2018, the Township Board approved a special use permit and final site plan for the development of Meadows West Condominium subject to certain conditions, including without limitation those set forth in the consultant’s reports and discussions during open meetings where this matter was addressed.

9. The parties now desire to settle this lawsuit in accordance with the terms and conditions set forth in this Consent Judgment.

NOW, THEREFORE, this Consent Judgment being presented to the Court pursuant to the stipulation of the parties, and the Court having determined that this Consent Judgment is reasonable and just and being otherwise fully advised in the premises;

IT IS HEREBY ORDERED AND ADJUDGED that Plaintiff shall be permitted to develop the Subject Property as a new residential condominium project to be known as Meadows West in accordance with the final site plan attached hereto as Exhibit B (the "Plan") consisting of 52 residential condominium units located in 22 separate structures (14 duplex buildings and 8 triplex buildings) and consistent with the terms and conditions set forth herein.

IT IS FURTHER ORDERED AND ADJUDGED that Plaintiff's right to develop, construct and occupy the Subject Property as Meadows West Condominium in accordance with the Plan approved hereunder shall be subject to satisfaction of the conditions set forth in the Spicer Group, Inc. review letter dated March 20, 2018 and the terms and conditions set forth on page 2, paragraph 8 above (except as modified and/or superseded herein) at the time of completion of the Exhibit B drawings to the Master Deed for review and approval by the Township.

IT IS FURTHER ORDERED AND ADJUDGED that nothing contained in this Consent Judgment shall be construed to relieve Plaintiff of the obligation to comply with all regulations of, and secure necessary approvals from, other governmental agencies for the development, construction and occupancy of residential dwellings on the Subject Property, including but not limited to the Michigan Department of Environmental Quality, Livingston County Road Commission, Livingston County Drain Commission, Livingston County Health Department, Livingston County Building Department, and Howell Area Fire Department. To the extent the Plan approved hereunder must be further modified as a result of regulatory requirements of, or conditions of approval by, other governmental agencies, such modifications shall be incorporated into the Exhibit B drawings to the Master Deed to be reviewed by the Township Attorney, Township Planner, Township Engineer and/or Township Board, to confirm the completion of all such requirements/conditions.

IT IS FURTHER ORDERED AND ADJUDGED that Plaintiff's right to develop,

construct and occupy the Subject Property as Meadows West Condominium in accordance with the Plan approved hereunder shall be subject to compliance by Plaintiff with Section 6.18 of Marion Township's Zoning Ordinance (except as modified and/or superseded herein), including the review and approval by the Township Attorney, Township Planner and/or Township Engineer of the Master Deed and exhibits thereto for the Meadows West Condominium (collectively the "Meadows West Master Deed") to confirm that the Meadows West Master Deed is consistent with the terms and conditions set forth on page 2, paragraph 8 above (except as modified and/or superseded herein) and all other terms and conditions set forth herein.

IT IS FURTHER ORDERED AND ADJUDGED that in addition to all other terms in this Consent Judgment, Plaintiff must comply with the Marion Township Zoning Ordinance Section 4.06 (Performance Guarantees for Compliance) regarding the development of Meadows West Condominium.

IT IS FURTHER ORDERED AND ADJUDGED that in the event of a conflict between the provisions of the Marion Township Zoning Ordinance or other Township regulatory ordinances and the terms of this Consent Judgment, the Consent Judgment shall govern and supersede any and all conflicting ordinance provisions.

IT IS FURTHER ORDERED AND ADJUDGED that nothing contained in this Consent Judgment shall be construed as altering or modifying in any manner all easement rights possessed by Plaintiff in The Meadows Condominium, including but not limited to all rights reserved to Plaintiff in the Master Deed for The Meadows Condominium, as amended, for the development, construction and occupancy of residential condominium units on the Subject Property, and the Township shall neither (a) withhold approval of the Meadows West Master Deed as a result of any dispute between Plaintiff and the Meadows Condominium Homeowners Association ("Meadows HOA") over the use or maintenance of the roads in The Meadows Condominium, nor (b) require a road access and/or maintenance agreement between Plaintiff and Meadows HOA beyond what is incorporated into the Master Deed of The Meadows Condominium, as amended, as a condition of approval of the Meadows West Master Deed, but (c) notwithstanding (b) above, Plaintiff shall be required to insure that the Master Deed contains

provisions that incorporate the terms of the Second Amendment to Master Deed of The Meadows Condominium as approved by the Township attorney in regard to the maintenance, upkeep and repair of the roads in the Meadows Condominium that will also provide access to the Meadows West Condominium. Pursuant to Marion Township Zoning Ordinance Section 4.06, Plaintiff shall also post a performance guarantee bond with the Township in the sum of \$50,000.00 to insure completion by Plaintiff of all repairs to any damage caused to the existing roads in the Meadows Condominium by Plaintiff, its agents, representatives, successors or assigns as the result of the development of the Meadows West Condominium, but Plaintiff shall not be obligated hereunder to repair and/or replace said roads as a result of normal wear and tear to which the roads have been and will be subject. If Plaintiff fails to complete the road repairs and the bond is ultimately insufficient to complete such road repairs, Plaintiff shall be responsible to provide sufficient funds to cover the cost of all such repairs, including any fees incurred by the Township for inspections, supervision, legal, etc. to insure the work is done according to Township specifications. The release of the bond shall be governed by Section 4.06 of the Marion Township Zoning Ordinance.

IT IS FURTHER ORDERED AND ADJUDGED that the parties shall execute any and all documents and/or enter into such agreements as are necessary or convenient to effectuate the intent of this Consent Judgment.

IT IS FURTHER ORDERED AND ADJUDGED that this Consent Judgment is deemed to be in recordable form and a true copy of this Consent Judgment shall be recorded in the records of the Livingston County Register of Deeds.

IT IS FURTHER ORDERED AND ADJUDGED that the covenants contained herein are declared to be covenants running with the land, and all rights and obligations of the parties hereunder shall inure to the benefit of and be binding upon the parties' successors and assigns.

IT IS FURTHER ORDERED AND ADJUDGED that the terms of this Consent Judgment may only be amended, modified or altered by written agreement of the parties and approval by the Court.

IT IS FURTHER ORDERED AND ADJUDGED that all claims asserted in Plaintiff's

Complaint are merged into this Consent Judgment.

IT IS FURTHER ORDERED AND ADJUDGED that in the event of any future proceeding regarding the enforcement of the respective rights and obligations of the parties, the prevailing party shall be entitled to the recovery of all attorneys' fees and costs in addition to any other applicable and appropriate relief.

IT IS FURTHER ORDERED AND ADJUDGED that the Court retains jurisdiction to enforce the terms of this Consent Judgment.

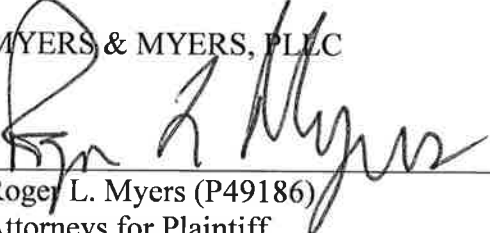
THIS IS A FINAL ORDER WHICH RESOLVES ALL CLAIMS AND CLOSES THE CASE.


P.18712

HON. A. JOHN PIKKARAINEN
Circuit Court Judge

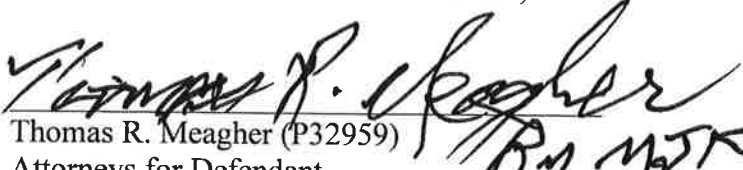
Stipulated and agreed to:

MYERS & MYERS, PLLC



Roger L. Myers (P49186)
Attorneys for Plaintiff
915 N. Michigan Avenue, Suite 200
Howell, Michigan 48843
517-540-1700

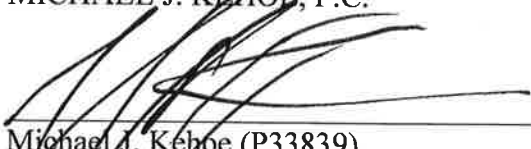
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517-371-8161

By MJK
MJK
MJK

MICHAEL J. KEHOE, P.C.



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517-546-4570

When recorded, return to:
Roger L. Myers, Esq.
Myers & Myers, PLLC
915 N. Michigan Ave.
Howell, MI 48843

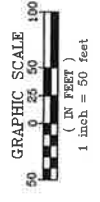
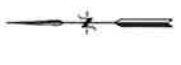
EXHIBIT A

EXHIBIT A

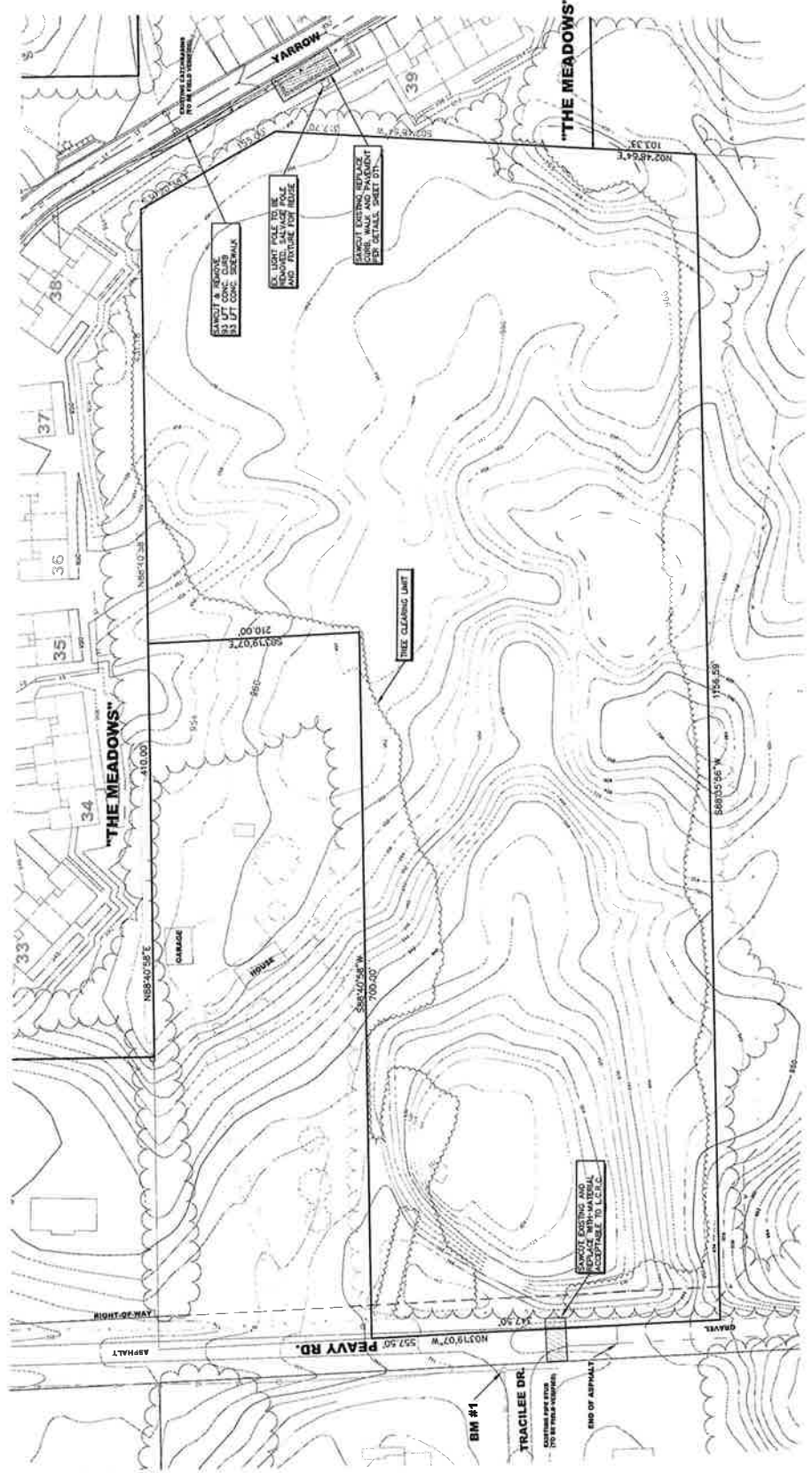
Legal Description: Tax I.D. #4710-11-200-017

Commencing at the North $\frac{1}{4}$ corner of Section 11, Town 2 North, Range 4 East, Marion Township, Livingston County, Michigan; thence N $88^{\circ}40'48''$ E 700.00 feet along the North line of said Section 11 to the PLACE OF BEGINNING; thence N $88^{\circ}40'58''$ E 431.18 feet along said North line of Section 11, same being the South line of "The Meadows Condominium," Livingston County Condominium Subdivision Plan No. 232; thence S $30^{\circ}20'38''$ E 155.00 feet along the West line of said "The Meadows Condominium;" thence S $02^{\circ}48'54''$ W 421.03 feet along (in part) of the West line of said "The Meadows Condominium;" thence S $88^{\circ}35'56''$ W 1156.59 feet along the North line of "Hometown Village of Marion," Livingston County Condominium Subdivision Plan No. 198; thence N $03^{\circ}19'07''$ W 347.50 feet along the East line of "Marion Heights" (Liber 19 of Plats, Pages 23, 24 and 25, Livingston County Records), also being the centerline of Peavy Road, and also being the North and South $\frac{1}{4}$ line of said Section 11; thence N $88^{\circ}40'58''$ E 700.00 feet; thence N $03^{\circ}19'07''$ W 210.00 feet to the Place of Beginning. Being part of the Northeast $\frac{1}{4}$ of Section 11, Town 2 North, Range 4 East, Marion Township, Livingston County, Michigan. Containing 11.65 acres of land more or less. Subject to the rights of the public over that portion thereof occupied by Peavy Road, also subject to and together with all easements and restrictions affecting title to the above described premises.

EXHIBIT B



- LEGEND**
- EXISTING CONTOURS
 - PROJECT BOUNDARY
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING TREE LINE



BENCHMARK

BM# 1: END OF SANITARY SEWER MARKED LOCATED ON THE WEST SIDE OF PEAVY ROAD IN THE ENTRANCE TO TRAILER ON ELEVATION: 841.86 (USGS DATA)

BM# 2: END OF SANITARY SEWER MARKED LOCATED ON THE EAST SIDE OF PEAVY ROAD IN THE ENTRANCE TO TRAILER ON ELEVATION: 841.86 (USGS DATA)

BM# 3: END OF SANITARY SEWER MARKED LOCATED ON THE WEST SIDE OF PEAVY ROAD IN THE ENTRANCE TO TRAILER ON ELEVATION: 841.86 (USGS DATA)

811
Know what's below.
Call before you dig.

1-800-485-5111
CALL 811 OR VISIT 811.ORG
FOR MORE INFORMATION

<p>DESIGN: JMB DRAFT: JMB/JAL CHECK: JMB</p>	<p>REVISION # DATE REVISION DESCRIPTION</p> <p>1 11-18-18 FOR REVIEW CONTACT</p> <p>2 11-28-18 REVISED FOR BIDDING LINES 7, 25, 36</p> <p>3 11-15-18 SHOWN W/IT AND CONNECTION PLANS</p> <p>4 12-11-18 REVISED FOR OWNER COMMENTS</p>	<p>REVISION # DATE REVISION DESCRIPTION</p>	<p>PROJECT NAME: EX-101 SHEET NO.: EX-101</p>	<p>SCALE: 1"=50'</p> <p>PROJECT NO: 18040</p> <p>DWG NAME: EX-101</p> <p>DESIGNED BY: JMB</p>	<p>CAD: JMB DATE: 11/18/18 BY: JMB</p>	<p>CLIENT: MICHIGAN BILBOUS CO. 211 N. FIRST STREET BRIGHTON, MI 48116 810.229.7938</p>	<p>PROJECT NO: 18040 SHEET NO.: EX-101 DESIGNED BY: JMB</p>	<p>DATE: 11/18/18 BY: JMB</p>	<p>PROJECT NO: 18040 SHEET NO.: EX-101 DESIGNED BY: JMB</p>
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EXISTING CONDITIONS AND DEMOLITION PLAN

THE MEADOWS WEST

THE MEADOWS

PROJECT NO: 18040
SHEET NO.: EX-101
DESIGNED BY: JMB

EX-1

811
Know what's below.
Call before you dig.

1-800-485-5111
CALL 811 OR VISIT 811.ORG
FOR MORE INFORMATION

PROJECT NO: 18040
SHEET NO.: EX-101
DESIGNED BY: JMB

CAD: JMB
DATE: 11/18/18
BY: JMB

BENCHMARK

BM# 1: END OF SANITARY SEWER MARKED LOCATED ON THE WEST SIDE OF PEAVY ROAD IN THE ENTRANCE TO TRAILER ON ELEVATION: 841.86 (USGS DATA)

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BM# 3: END OF SANITARY SEWER MARKED LOCATED ON THE WEST SIDE OF PEAVY ROAD IN THE ENTRANCE TO TRAILER ON ELEVATION: 841.86 (USGS DATA)

CLIENT: MICHIGAN BILBOUS CO.
211 N. FIRST STREET
BRIGHTON, MI 48116
810.229.7938

REVISION # DATE REVISION DESCRIPTION

1 11-18-18 FOR REVIEW CONTACT

2 11-28-18 REVISED FOR BIDDING LINES 7, 25, 36

3 11-15-18 SHOWN W/IT AND CONNECTION PLANS

4 12-11-18 REVISED FOR OWNER COMMENTS

DESIGN: JMB
DRAFT: JMB/JAL
CHECK: JMB

EX-1

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CLIENT: MICHIGAN BILBOUS CO.
211 N. FIRST STREET
BRIGHTON, MI 48116
810.229.7938

REVISION # DATE REVISION DESCRIPTION

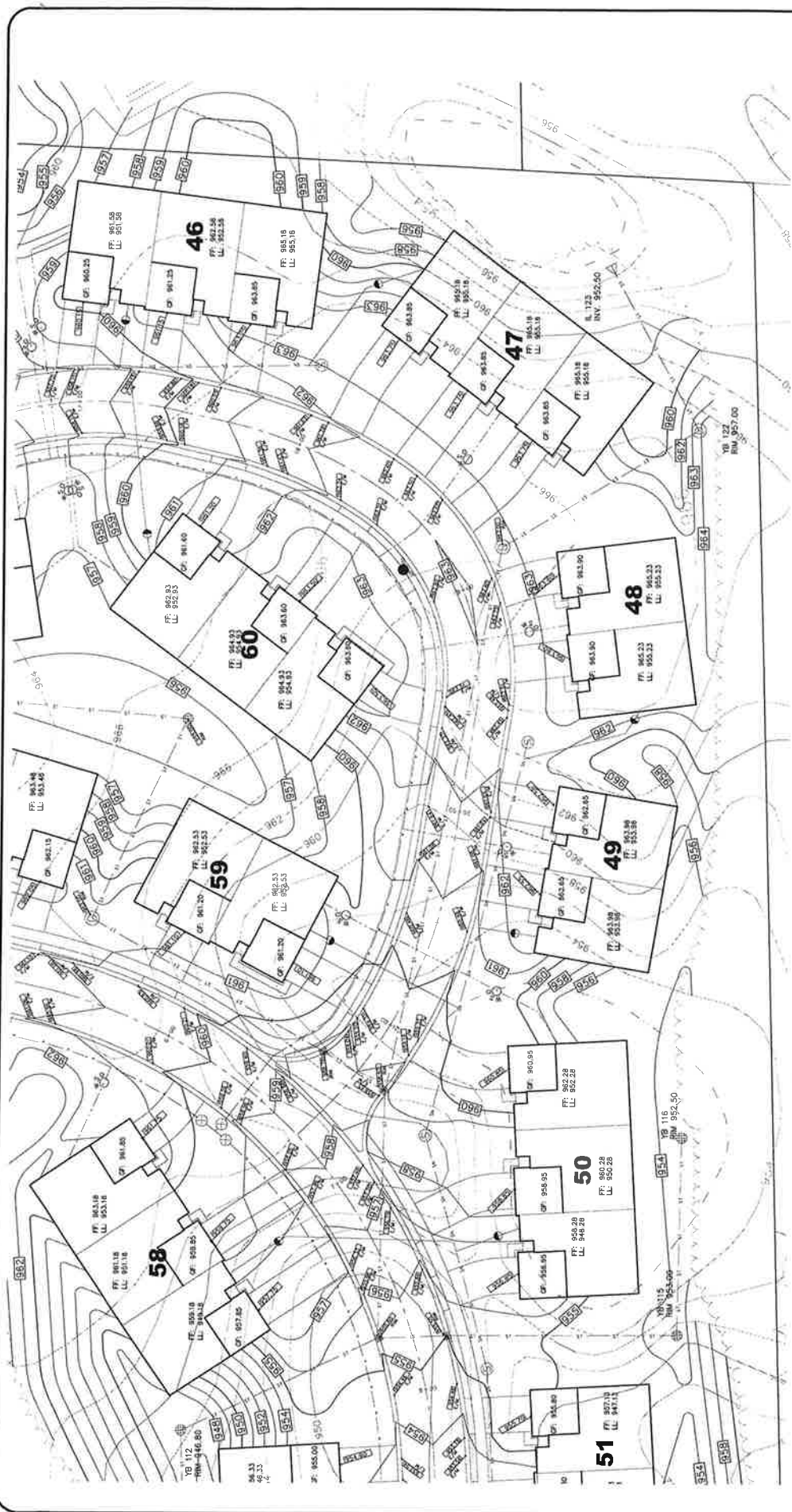
1 11-18-18 FOR REVIEW CONTACT

2 11-28-18 REVISED FOR BIDDING LINES 7, 25, 36

3 11-15-18 SHOWN W/IT AND CONNECTION PLANS

4 12-11-18 REVISED FOR OWNER COMMENTS

DESIGN: JMB
DRAFT: JMB/JAL
CHECK: JMB



(419) 227-9633
 2133 FLEISS DRIVE
 BRIMPTON, MICHIGAN 48114

BENCHMARK
 RM of SANITARY SEWER MANHOLE LOCATED AT THE N.E. CORNER OF THE MEADOWS DEVELOPMENT.
 ELEVATION: 951.43 (UDGE DATUM)

BENCHMARK
 RM of SANITARY SEWER MANHOLE LOCATED AT THE N.E. CORNER OF THE MEADOWS DEVELOPMENT.
 ELEVATION: 951.43 (UDGE DATUM)

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 ELEVATION: 951.43 (UDGE DATUM)

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BENCHMARK
 RM of SANITARY SEWER MANHOLE LOCATED AT THE N.E. CORNER OF THE MEADOWS DEVELOPMENT.
 ELEVATION: 951.43 (UDGE DATUM)

CLIENT: MICHIGAN BUILDING CO.
 211 N. FIRST STREET
 BRIMPTON, MI 48115
 910.227.9633

PROJECT NO.: 18754F
 DWG NAME: BRM18AL
 DRAWN: M.A.S. 11.2018
 SCALE: 1"=20'

GR3

THE MEADOWS
 THE WEST

GRADING PLAN

REVISIONS:

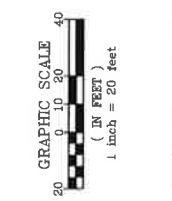
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1	11-14-18	ISSUED FOR PERMITS
2	12-14-18	REVISED FOR REVIEW COMMENTS

DATE: 12-14-18

REVISIONS:

REVISION #	DATE	DESCRIPTION
1	11-14-18	ISSUED FOR PERMITS
2	12-14-18	REVISED FOR REVIEW COMMENTS

DATE: 12-14-18



- LEGEND**
- EXISTING CONTOURS
 - PROJECT BOUNDARY
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING TREE LINE
 - PROPOSED CURB & GUTTER
 - PROPOSED STORM SEWER
 - YARD BASIN, CATCH BASIN, & FLASED END SECTION
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY MANHOLE
 - PROPOSED WATER MAIN
 - PROPOSED HYDRANT
 - PROPOSED VALVE
 - WATER SHUT-OFF
 - SANITARY CLEAN-OUT
 - PROPOSED CONTOUR
 - PROPOSED DRAINAGE FLOW

REVISION #	DATE	DESCRIPTION
1	11-14-18	ISSUED FOR PERMITS
2	12-14-18	REVISED FOR REVIEW COMMENTS

THE MEADOWS
 THE WEST

PROJECT NO.: 18754F
 DWG NAME: BRM18AL
 DRAWN: M.A.S. 11.2018
 SCALE: 1"=20'

GR3

GRADING PLAN

THE MEADOWS
 THE WEST

REVISIONS:

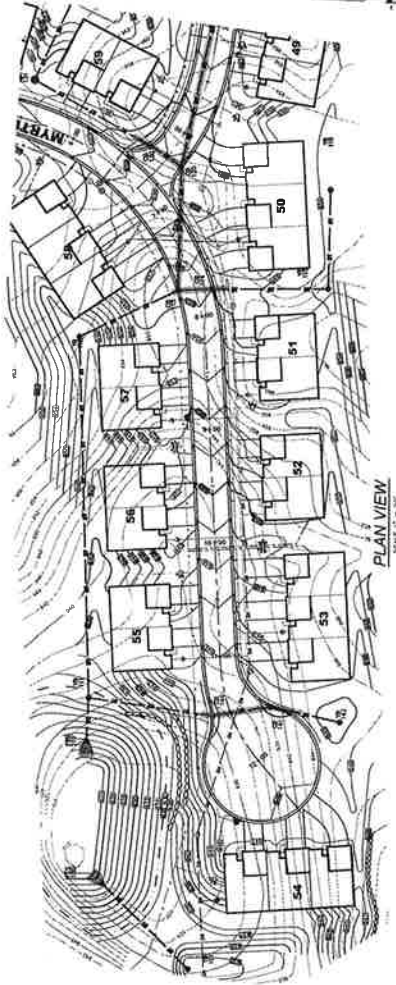
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1	11-14-18	ISSUED FOR PERMITS
2	12-14-18	REVISED FOR REVIEW COMMENTS

DATE: 12-14-18

REVISIONS:

REVISION #	DATE	DESCRIPTION
1	11-14-18	ISSUED FOR PERMITS
2	12-14-18	REVISED FOR REVIEW COMMENTS

DATE: 12-14-18



- LEGEND**
- EXISTING CONTOURS
 - PROJECT BOUNDARY
 - EXISTING STORM SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING TREE LINE
 - PROPOSED CURB & GUTTER
 - PROPOSED STORM SEWER
 - VARD BASHY CATCH BASIN, 4' PLANO DIO SECTION
 - PROPOSED SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - PROPOSED WATER MAIN
 - PROPOSED VALVE
 - SANITARY CLEAN-OUT
 - PROPOSED CONTOUR
 - APPROXIMATE TROUGH "X" SLOTTED

BENCHMARK

BUM1 BULL OF SANITARY SEWER MANHOLE LOCATED ON THE WEST SIDE OF PEACHY ROAD ELEVATION: 111.16 (VDOS DATA)

BUM2 BULL OF SANITARY SEWER MANHOLE LOCATED AT THE CORNER OF THE INTERSECTION OF CEDAR AND YARROW. IN THE NEQUINER. ELEVATION: 111.13 (VDOS DATA)

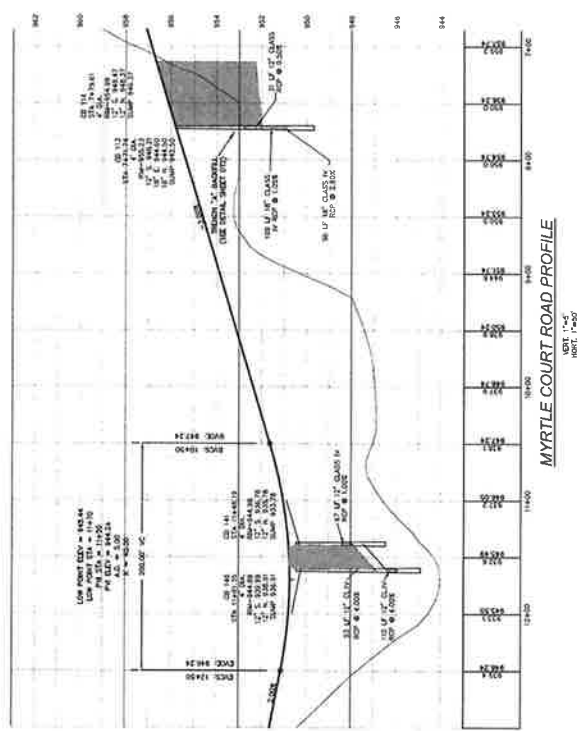


SCALE: AS SHOWN
 PROJECT NO.: 10344
 DRAWING NO.: 04-01
 SHEET: 11 OF 11
 DATE: MAY 14, 2018

CLIENT: MICHIGAN BUILDING CO.
 211 N. FIRST STREET
 BIRMINGHAM, AL 35203-2828

MYRTLE COURT
 ROAD PLAN & PROFILE

THE MEADOWS
 WEST



REVISION	DATE	DESCRIPTION
1	02-13-18	ISSUED FOR PERMITS AND CONSTRUCTION PLANS
2	03-14-18	REVISED FOR PERMITS COMMENT

REVISION	DATE	DESCRIPTION
1	04-10-18	ISSUED FOR PLANNING COMMISSION CONSIDERATION
2	04-10-18	FOR REVIEW
3	04-10-18	FOR REVIEW COMMENT
4	04-10-18	FOR REVIEW COMMENT
5	04-10-18	FOR REVIEW COMMENT
6	04-10-18	FOR REVIEW COMMENT

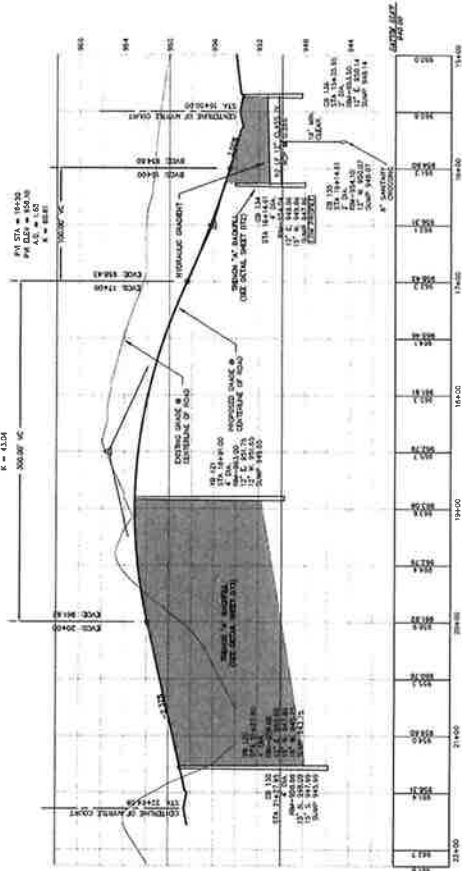
DESIGNER: JACOB
 CHECKER: AMB

PROJECT NO.: 10344
 SHEET: 11 OF 11



PLAN VIEW
SCALE 1" = 50'

HIGH POINT ELEV. = 94.08
HIGH POINT STATION = 10+00.14
PI ELEV. = 93.50
P ELEV. = 93.50
R = 13.25'



CAMELLIA CIRCLE ROAD PROFILE
SCALE 1" = 10'

BENCHMARK

BH#1 RIM OF SANITARY SEWER MANHOLE LOCATED ON THE WEST SIDE OF HEAVY ROAD IN THE ENTRANCE TO TROUSSE OR BAYVIEW DRIVE
BH#2 RIM OF SANITARY SEWER MANHOLE LOCATED AT THE SW CORNER OF THE INTERSECTION OF SEDON AND YARBROOK IN "THE MEADOWS" DEVELOPMENT
BENCHMARK: PVI 53 (CHECK DATUM)

LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING TRUCK LANE
- PROPOSED CURB & GUTTER
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED MANHOLE
- PROPOSED VALVE
- WATER SHUT-OFF
- SANITARY CLEAN-OUT
- PROPOSED CONDUIT
- TRENCH "V" BOTTOM



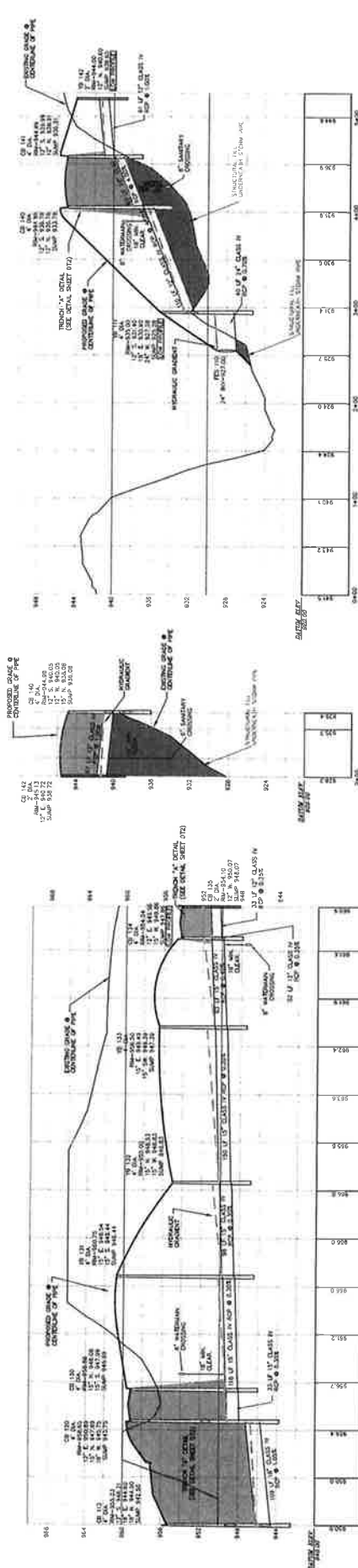
(818) 227-9933
3100 WILSON AVENUE
LAND SURVEYORS
2103 PULSIFER DRIVE
BRIGHTON, MISSISSIPPI 39014

AS SHOWN
PROJECT NO. 12547
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 11-13-18

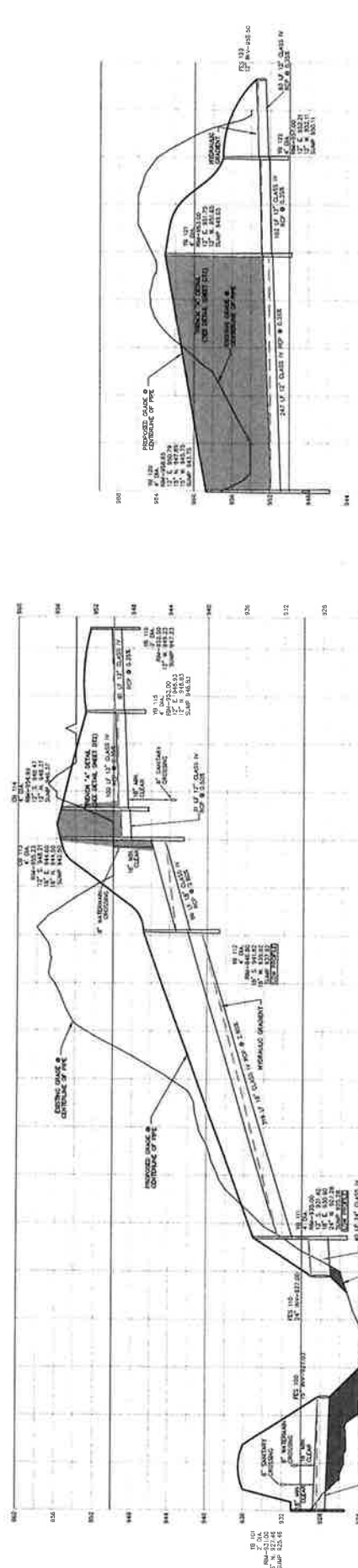
CLIENT:
MITCH HARRIS BUILDING CO.
211 N. FIRST STREET
BRIGHTON, MS 39018
601.227.7538

CAMELLIA CIRCLE
ROAD PLAN & PROFILE

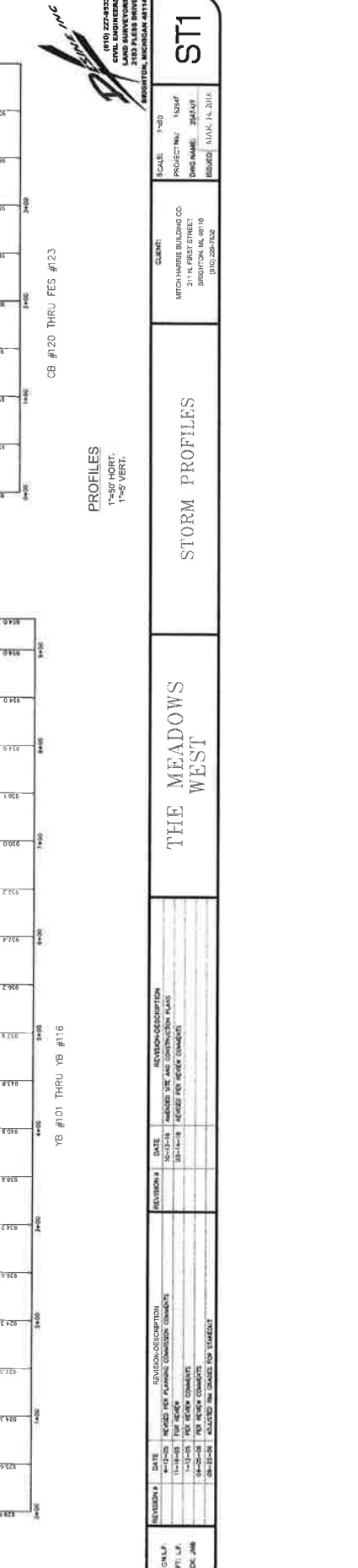
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1	11-13-18	REVISED FOR PLANNING COMMISSION COMMENTS
2	11-14-18	REVISED FOR PLANNING COMMISSION COMMENTS
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4	11-16-18	REVISED FOR PLANNING COMMISSION COMMENTS
5	11-17-18	REVISED FOR PLANNING COMMISSION COMMENTS
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19	12-01-18	REVISED FOR PLANNING COMMISSION COMMENTS
20	12-02-18	REVISED FOR PLANNING COMMISSION COMMENTS
21	12-03-18	REVISED FOR PLANNING COMMISSION COMMENTS
22	12-04-18	REVISED FOR PLANNING COMMISSION COMMENTS
23	12-05-18	REVISED FOR PLANNING COMMISSION COMMENTS
24	12-06-18	REVISED FOR PLANNING COMMISSION COMMENTS
25	12-07-18	REVISED FOR PLANNING COMMISSION COMMENTS
26	12-08-18	REVISED FOR PLANNING COMMISSION COMMENTS
27	12-09-18	REVISED FOR PLANNING COMMISSION COMMENTS
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29	12-11-18	REVISED FOR PLANNING COMMISSION COMMENTS
30	12-12-18	REVISED FOR PLANNING COMMISSION COMMENTS



CB #142 THRU CB #140



ROAD OUTLET THRU YB #141



YB #101 THRU YB #116



CB #120 THRU FES #123

PROFILES
 1"=50' HORT.
 1"=5' VERT.

THE MEADOWS WEST

STORM PROFILES

SCALE: 1"=50'

PROJECT NO.: 13534P

DWG NAME: STP141

ISSUED: MAY 18, 2018

CURENT:

MITCH HARRIS BUILDING CO.
 211 N. FIRST STREET
 BOGOTON, VA 09110
 (803) 250-7538

STI

DESIGNED BY: [Name]
 DRAWN BY: [Name]
 CHECKED BY: [Name]

DATE: [Date]

REVISIONS:

REVISION 1: [Description]

REVISION 2: [Description]

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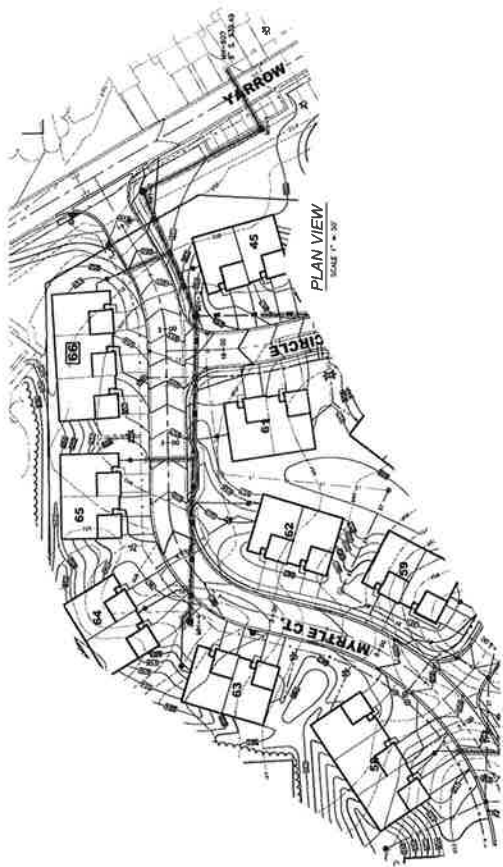
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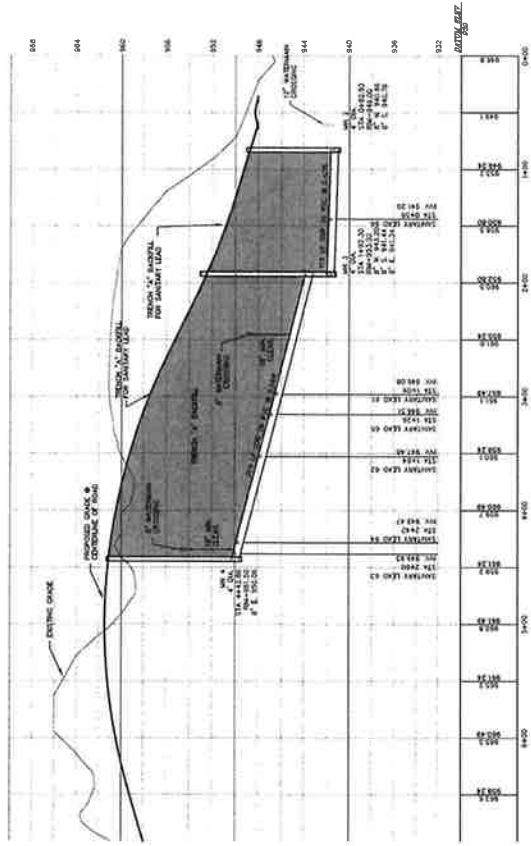
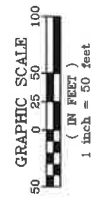
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LEGEND

- EXISTING CONDUITS
- PROJECT BOUNDARY
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING TREE LINE
- PROPOSED CURB & GUTTER
- PROPOSED STORM SEWER
- 18" DIA. MANHOLE WITH 6" FLARED END SECTION
- PROPOSED SANITARY SEWER
- PROPOSED 18" DIA. MANHOLE
- PROPOSED 18" DIA. CLEAN-OUT
- PROPOSED 18" DIA. VALVE
- PROPOSED 18" DIA. WATER SHUT-OFF
- SANITARY CLEAN-OUT
- PROPOSED CONDUIT
- PROPOSED 18" DIA. MANHOLE

ALL SANITARY SEWERS SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH CURRENT MUNICIPAL DESIGN STANDARDS. (SEE MHOG STANDARD DETAILS)



MYRTLE COURT ROAD PROFILE
WEST 1/2-26

BENCHMARK

- BM1: 18" DIA. MANHOLE LOCATED ON THE WEST SIDE OF YARROW ROAD. ELEVATION: 341.06 (GDS DATUM)
- BM2: 18" DIA. MANHOLE LOCATED AT THE CORNER OF THE INTERSECTION OF SEWAL AND YARROW IN "THE MEADOWS". ELEVATION: 361.03 (GDS DATUM)



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6000 207 6670
6400 207 6670
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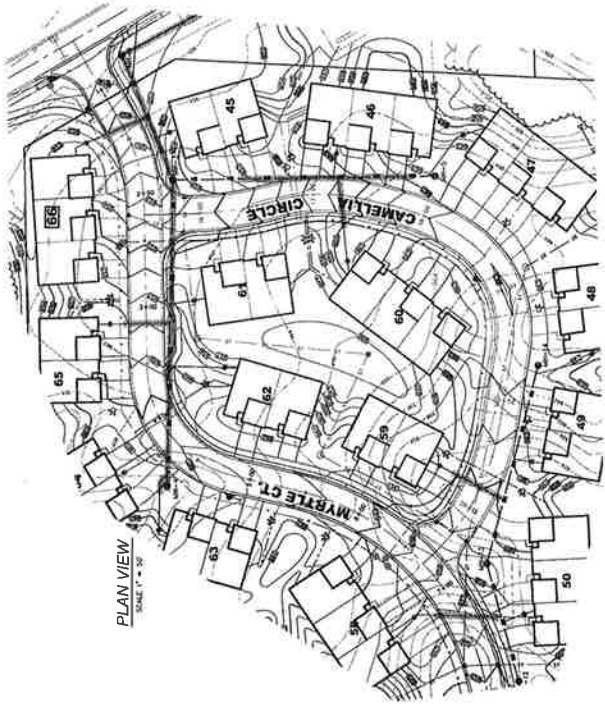
SCALE:	AS SHOWN
PROJECT NO.:	15047
DWG. NAME:	SFP/SA
ISSUED:	MAR. 14, 2018

CLIENT:
MATCHAMBS BUILDING CO.
211 N. FIRST STREET
BIRMINGHAM, AL 35203
810.225.2632

THE MEADOWS WEST
MYRTLE COURT
SANITARY PLAN & PROFILE

REVISION #	DATE	DESCRIPTION
1	11-14-18	FOR REVIEW
2	11-15-18	FOR REVIEW
3	11-16-18	FOR REVIEW
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100	11-16-18	FOR REVIEW

DESIGN: JAC/AM	DATE: 11-14-18	REVISION: 1	DESCRIPTION: FOR REVIEW
CHAFT: JAC/AM	DATE: 11-15-18	REVISION: 2	DESCRIPTION: FOR REVIEW
CHECK: JAC/AM	DATE: 11-16-18	REVISION: 3	DESCRIPTION: FOR REVIEW



- LEGEND**
- EXISTING CONTOUR
 - PROJECT BOUNDARY
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING FIRE LINE
 - PROPOSED CURB & GUTTER
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY MANHOLE
 - PROPOSED WATER MAIN
 - PROPOSED HYDRANT
 - WATER SHUT-OFF
 - SANITARY CLEAN-OUT
 - PROPOSED
 - EXISTING
 - CONCRETE
 - TRENCH 18" PVC 8' DEEP
 - TRENCH 18" BUCKLE

ALL SANITARY SEWER SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE DESIGN STANDARDS (SEE WHO'S STANDARD DETAILS)

BENCHMARK

- BM 1 SANITARY SEWER MANHOLE LOCATED AT THE WEST CORNER OF PLANT ROOM WITH ELEVATION 941.86 (USGS DATUM)
- BM 2 SANITARY SEWER MANHOLE LOCATED AT THE N.E. CORNER OF THE INTERSECTION OF SECON AND YARROW. IN THE NEARBY LOT WITH ELEVATION 951.52 (USGS DATUM)



**CAMELLIA CIRCLE
SANITARY PLAN & PROFILE**

REVISION #	DATE	REVISION DESCRIPTION
1	12-14-18	REVISED PER REVIEW COMMENTS

REVISION #	DATE	REVISION DESCRIPTION
1	11-15-18	REVISED PER PLANNING COMMISSION COMMENTS
2	11-15-18	NO REVIEW COMMENTS
3	1-11-19	REVISED PER CHAIR LETTER 2-10-19
4	1-11-19	REVISED PER CHAIR LETTER 2-10-19

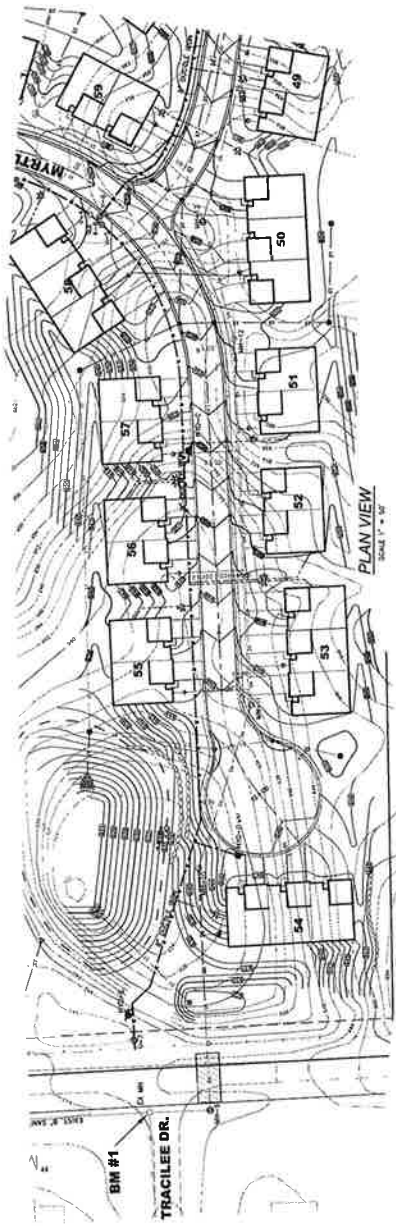
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DRAWN: JAM	DATE: 11-15-18	REVISION DESCRIPTION: NO REVIEW COMMENTS
CHECK: JAM	DATE: 1-11-19	REVISION DESCRIPTION: REVISED PER CHAIR LETTER 2-10-19

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CLIENT:	AS SHOWN
PROJECT NO.:	10257
DATE:	11-15-18
PROJECT NAME:	211 N. FIRST STREET
PROJECT ADDRESS:	BRIDGE PLAZA
PROJECT CITY:	MEMPHIS, TN 38103

S3



LEGEND

- EXISTING CONTOUR
- PROJECT BOUNDARY
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING FIRE LINE
- PROPOSED DRAIN & UTILITY
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED VALVE
- PROPOSED HYDRANT
- PROPOSED SANITARY CLEAN-OUT
- PROPOSED CONTOUR

ALL WATERMAIN SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH THE M.I.G. SEWER AND WATER MAIN DESIGN AND CONSTRUCTION STANDARDS (SEE MHQS STANDARD DETAILS)

BENCHMARK

BM#1 RM OF SANITARY SEWER MANHOLE LOCATED ON THE WEST SIDE OF MYRTLE ROAD IN SECTION 34.36 (RDS DATA)
 BM#2 RM OF SANITARY SEWER MANHOLE LOCATED AT THE S.E. CORNER OF THE INTERSECTION OF SEDON AND YARBROOK IN "THE MEADOWS" (ELEVATION: 854.83 (RDS DATA))

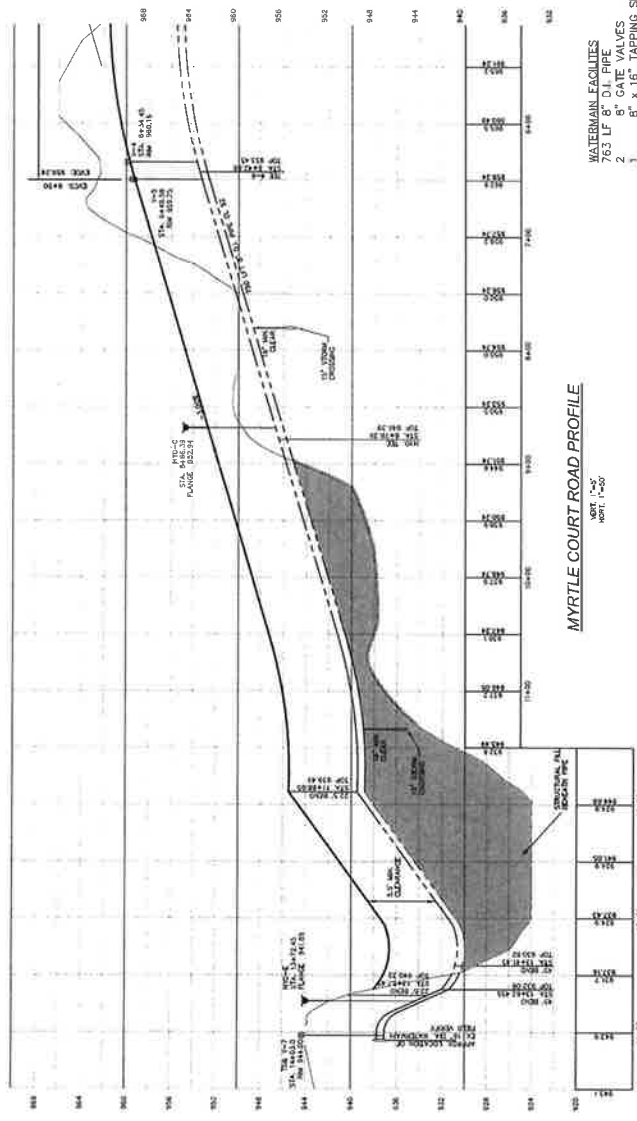


SCALE: AS SHOWN
 PROJECT NO.: 12345
 DRAWN BY: JAC/JAM
 CHECKED BY: JAC/JAM
 DATE: 05/14/18
 SHEET: W2

CLIENT: MITCH HARRIS BUILDING CO.
 2714 N. FIRST STREET
 BIRMINGHAM, AL 35203-0000
 PROJECT: 12345

MYRTLE COURT WATERMAIN PLAN & PROFILE

THE MEADOWS WEST



- WATERMAIN FACILITIES**
- 2 6" GATE VALVES
 - 2 8" x 16" TAPPING SLEEVE AND VALVE
 - 2 HYDRANT ASSEMBLY
 - 2 5" 45° BENDS
 - 2 8" 22.5° BEND

REVISION #	DATE	DESCRIPTION
1	05/14/18	ISSUED FOR PERMITS

REVISION #	DATE	DESCRIPTION
2	05/14/18	ISSUED FOR PERMITS

DESIGN: JAC/JAM
 DRAWN: JAC/JAM
 CHECKED: JAC/JAM



LEGEND

- EXISTING CONTOURS
- EXISTING ROAD
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING TREE LINE
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN
- PROPOSED SANITARY MANHOLE
- PROPOSED VALVE
- PROPOSED CLEAN-OUT
- PROPOSED CONTOUR

ALL WATERMAIN SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE MISSISSIPPI SANITARY SEWER AND WATER DESIGN STANDARDS. (SEE MHOG STANDARD DETAILS)

BENCHMARK

- BM# 1: 8" GALV. PIPE, 10' HIGH, 10' FROM THE WEST SIDE OF HEAVY ROAD IN THE ENTRANCE TO WOODS DR. ELEVATION: 101.86 (USDS DATUM)
- BM# 2: 8" GALV. PIPE, 10' HIGH, 10' FROM THE WEST SIDE OF HEAVY ROAD IN THE ENTRANCE TO WOODS DR. ELEVATION: 101.86 (USDS DATUM)



WATERMAIN FACILITIES
 860 LF 8" D.I. PIPE
 2 8" GATE VALVES
 5 8" GATE VALVE ASSEMBLY
 3 6" 22.5' BEND

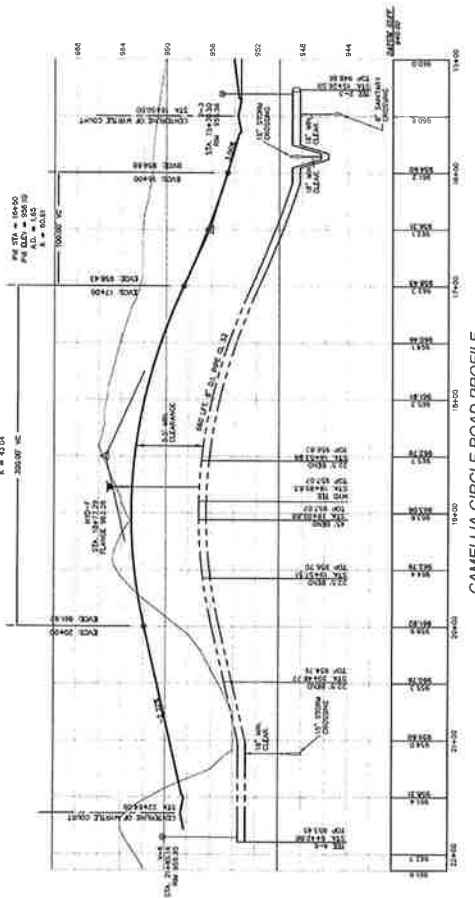
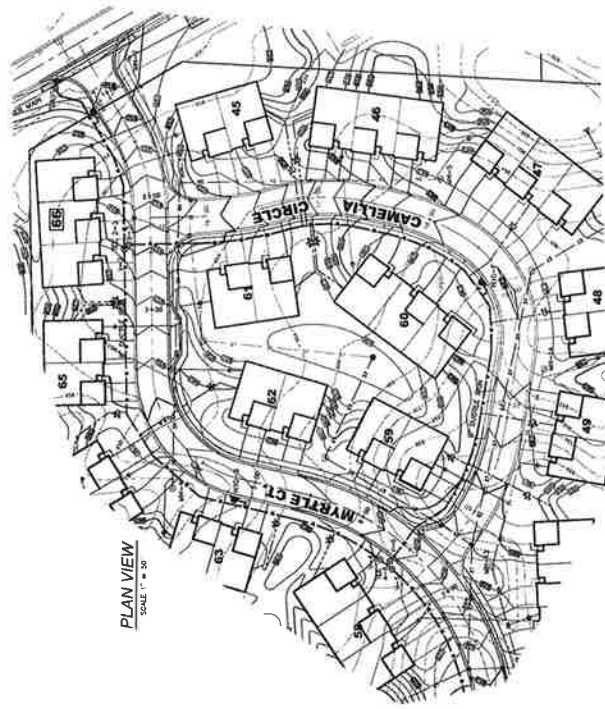
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PROJECT NO.:	15247
DRAWN BY:	DAW
ISSUED:	MAR. 14, 2015

CAMPELLIA CIRCLE WATERMAIN PLAN & PROFILE

THE MEADOWS WEST

REVISION #	DATE	REVISION DESCRIPTION
1	02-14-13	ISSUED FOR PERMITS COMMENTS

DESIGN/CHK	DATE	REVISION/DESCRIPTION
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CHKD	11-11-12	ISSUED FOR PERMITS COMMENTS
APP'D	11-11-12	ISSUED FOR PERMITS COMMENTS



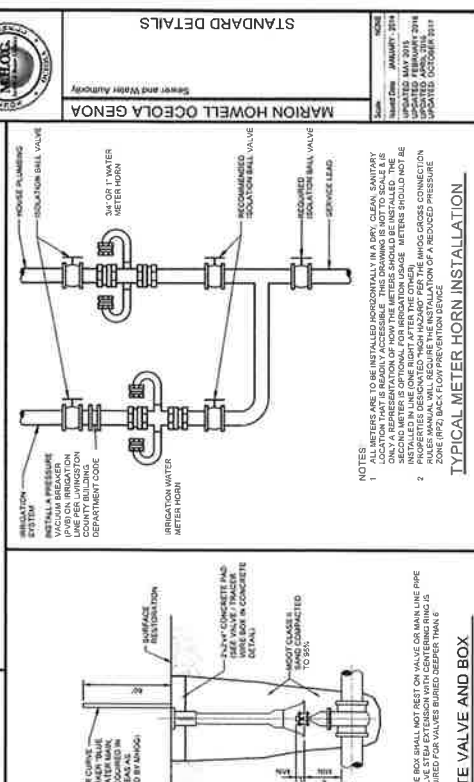
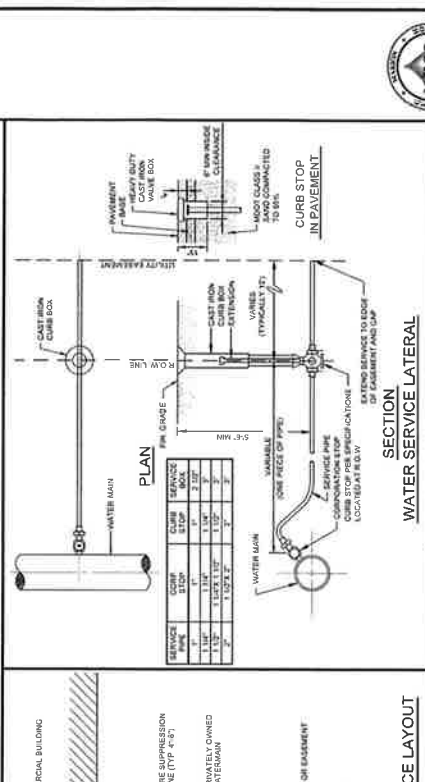
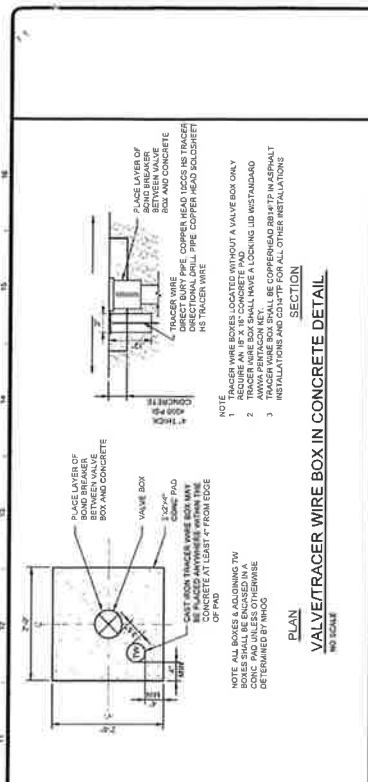
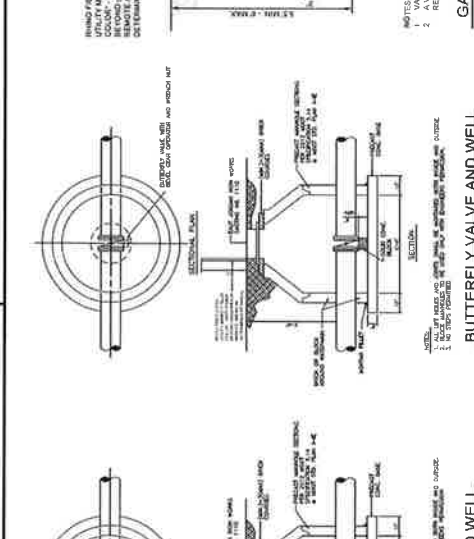
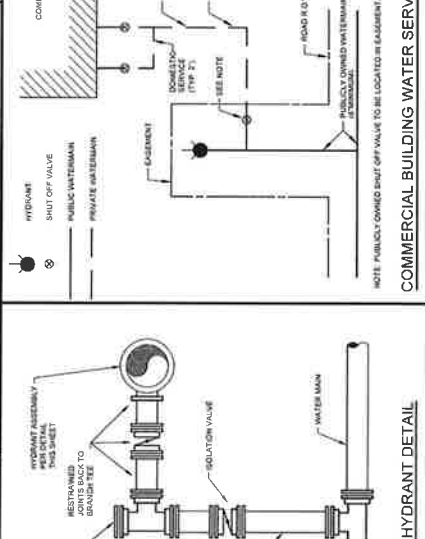
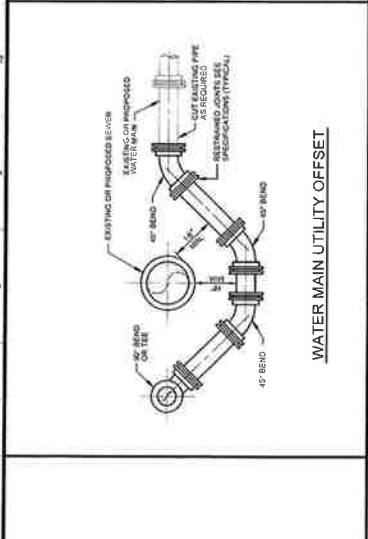
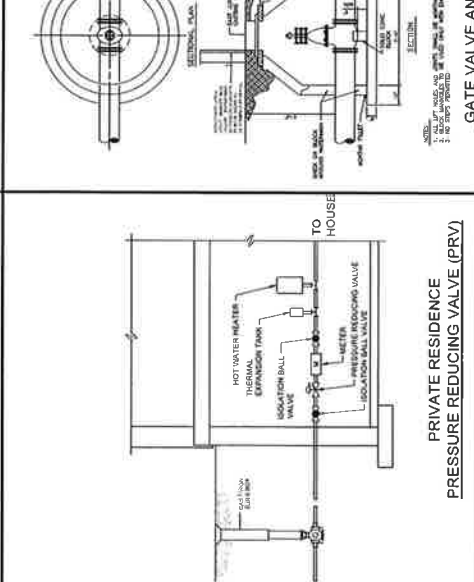
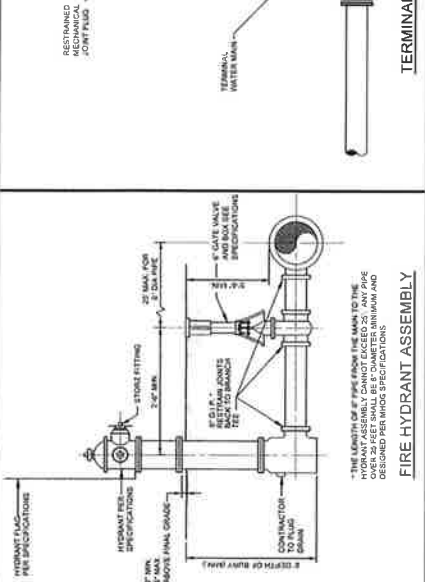
W3

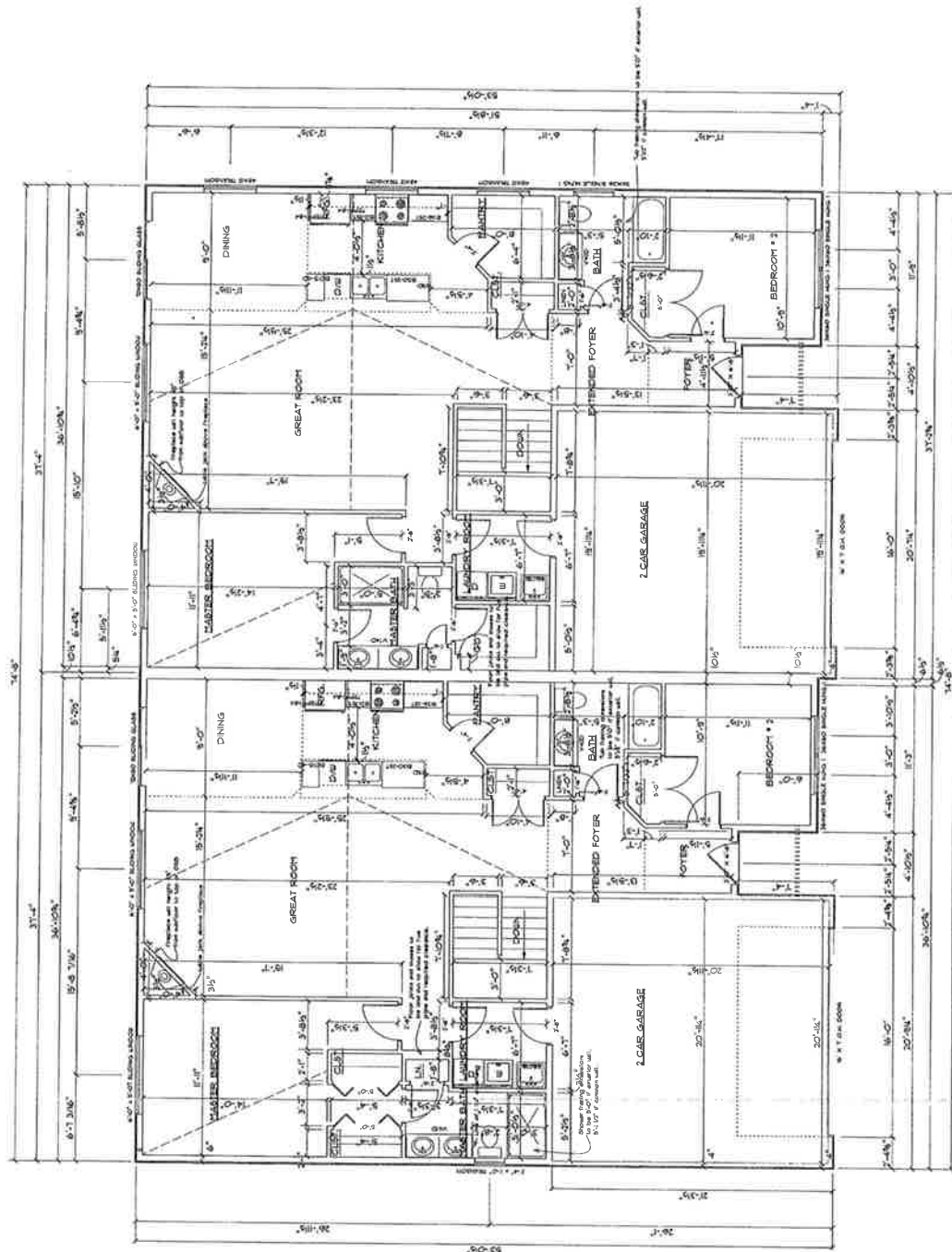
PIPE RESTRAINT SCHEDULE

PIPE DIAMETER	GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE			
	TEEL 90° BENDS	45° BENDS	22-1/2° BENDS	11-3/4° BENDS
4	13	5	1	48
6	19	8	2	58
8	25	11	3	70
10	31	14	4	85
12	37	18	5	100
14	43	22	6	115
16	49	27	7	135
18	55	32	8	155
20	61	38	9	180
24	73	46	11	220
30	91	58	14	280
36	109	71	17	340
42	127	85	21	410
48	145	100	25	490
54	163	116	30	580
60	181	133	36	680
66	200	151	42	790
72	218	170	50	920
78	237	190	58	1060
84	255	210	67	1210
90	274	231	77	1370
96	292	252	88	1540
102	311	274	100	1720
108	329	296	113	1910
114	348	319	127	2110
120	366	343	142	2320
126	385	367	158	2540
132	403	392	175	2770
138	422	417	193	3010
144	440	443	212	3260
150	459	469	232	3520
156	477	496	253	3790
162	496	523	275	4070
168	514	551	300	4360
174	533	579	326	4660
180	551	608	353	4970
186	570	637	382	5290
192	588	667	412	5620
198	607	697	443	5960
204	625	728	475	6310
210	644	759	508	6670
216	662	791	542	7040
222	681	823	578	7420
228	700	856	615	7810
234	718	889	653	8210
240	737	923	692	8620
246	755	957	733	9040
252	774	992	775	9470
258	792	1027	818	9910
264	811	1063	863	10360
270	829	1100	909	10820
276	848	1137	956	11290
282	866	1175	1005	11770
288	885	1214	1055	12260
294	903	1254	1107	12760
300	922	1294	1160	13270
306	940	1335	1215	13790
312	959	1376	1271	14320
318	977	1418	1329	14860
324	996	1460	1388	15410
330	1014	1503	1449	15970
336	1033	1546	1511	16540
342	1051	1590	1575	17120
348	1070	1634	1640	17710
354	1088	1679	1707	18310
360	1107	1724	1775	18920
366	1125	1770	1845	19540
372	1144	1816	1916	20170
378	1162	1863	1989	20810
384	1181	1910	2063	21460
390	1200	1958	2139	22120
396	1218	2006	2216	22790
402	1237	2055	2295	23470
408	1255	2104	2375	24160
414	1274	2154	2456	24860
420	1292	2204	2538	25570
426	1311	2255	2621	26280
432	1330	2306	2705	27000
438	1348	2357	2790	27730
444	1367	2409	2876	28470
450	1385	2461	2963	29220
456	1404	2513	3051	29980
462	1422	2566	3140	30750
468	1441	2619	3231	31530
474	1459	2672	3323	32320
480	1478	2726	3416	33120
486	1496	2780	3510	33930
492	1515	2834	3605	34750
498	1533	2889	3701	35580
504	1552	2944	3798	36420
510	1570	3000	3896	37270
516	1589	3056	3995	38130
522	1607	3112	4095	39000
528	1626	3169	4196	39880
534	1644	3226	4298	40770
540	1663	3284	4401	41670
546	1681	3342	4505	42580
552	1700	3401	4610	43500
558	1718	3460	4716	44430
564	1736	3519	4823	45370
570	1755	3579	4931	46320
576	1773	3639	5040	47280
582	1792	3699	5150	48250
588	1810	3759	5261	49230
594	1829	3820	5373	50220
600	1847	3881	5486	51220
606	1866	3942	5600	52230
612	1884	4003	5715	53250
618	1903	4064	5831	54280
624	1921	4125	5948	55320
630	1940	4186	6065	56370
636	1958	4247	6183	57430
642	1977	4308	6302	58500
648	1995	4369	6422	59580
654	2014	4430	6543	60670
660	2032	4491	6664	61770
666	2051	4552	6786	62880
672	2069	4613	6909	63990
678	2088	4674	7033	65110
684	2106	4735	7158	66240
690	2125	4796	7283	67380
696	2143	4857	7409	68530
702	2162	4918	7535	69690
708	2180	4979	7662	70860
714	2199	5040	7789	72040
720	2217	5101	7917	73230
726	2236	5162	8045	74430
732	2254	5223	8174	75640
738	2273	5284	8304	76860
744	2291	5345	8434	78090
750	2310	5406	8564	79330
756	2328	5467	8695	80580
762	2347	5528	8826	81840
768	2365	5589	8957	83110
774	2384	5650	9088	84390
780	2402	5711	9219	85680
786	2421	5772	9350	86980
792	2439	5833	9481	88290
798	2458	5894	9612	89610
804	2476	5955	9743	90940
810	2495	6016	9874	92280
816	2513	6077	10005	93630
822	2532	6138	10136	95000
828	2550	6199	10267	96370
834	2569	6260	10398	97750
840	2587	6321	10529	99140
846	2606	6382	10660	100540
852	2624	6443	10791	101950
858	2643	6504	10922	103370
864	2661	6565	11053	104800
870	2680	6626	11184	106240
876	2698	6687	11315	107690
882	2717	6748	11446	109150
888	2735	6809	11577	110620
894	2754	6870	11708	112100
900	2772	6931	11839	113590
906	2791	6992	11970	115090
912	2809	7053	12101	116600
918	2828	7114	12232	118120
924	2846	7175	12363	119650
930	2865	7236	12494	121190
936	2883	7297	12625	122740
942	2902	7358	12756	124300
948	2920	7419	12887	125870
954	2939	7480	13018	127450
960	2957	7541	13149	129040
966	2976	7602	13280	130640
972	2994	7663	13411	132250
978	3013	7724	13542	133870
984	3031	7785	13673	135500
990	3050	7846	13804	137140
996	3068	7907	13935	138790
1002	3087	7968	14066	140450

1. LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET. THE RESTRAINT PIPE DIAMETER SHALL BE USED.
 2. THESE TABLES ARE BASED ON A TEST PRESSURE OF 180 PSI FOR RANKING PRESSURE. OTHER TEST PRESSURES SHALL BE INCREASED OR DECREASED PROPORTIONALLY TO THE RANKING PRESSURE.
 3. OTHER TEST PRESSURES SHALL BE INCREASED OR DECREASED PROPORTIONALLY TO THE RANKING PRESSURE.
 4. TERMINATION SCHEDULE FOR TEE'S AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM IS ALLOWED TO BE USED. USE FOUR TIG WELDS MINIMUM AND ADD 18 INCH TO 84K DIAMETER AS CORROSION ALLOWANCE.
 5. SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.

BASED UPON:
 PIPE DEPTH: 18"
 SOIL CLASS: 1
 SECURITY CLASS: 1
 SOIL TYPE: GOOD SAND
 SAFETY FACTOR: 2





UNIT 78

UNIT 79

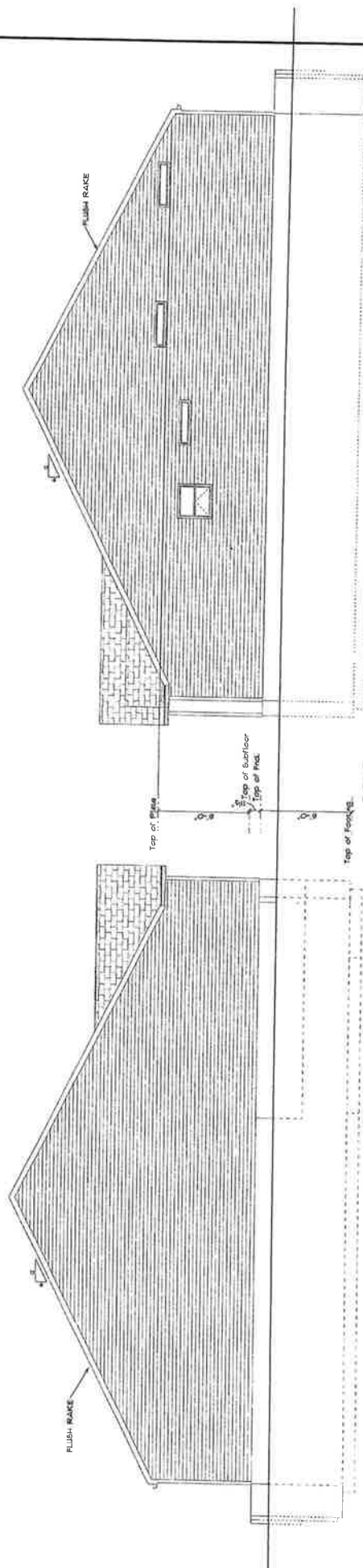
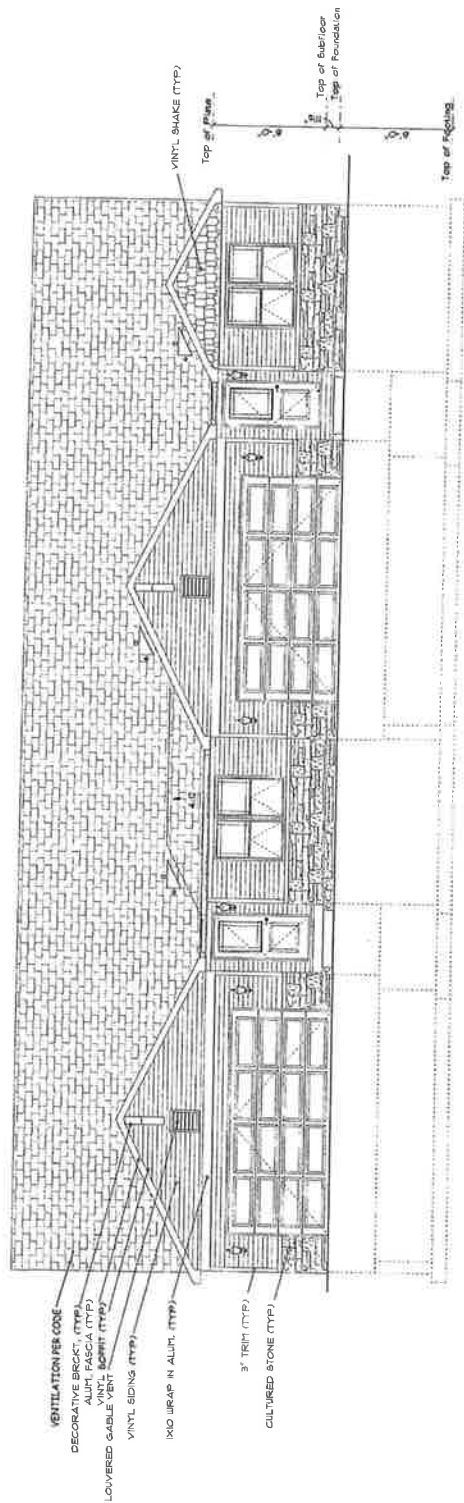
NOTE TO ALL CONTRACTORS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING BUILDING BEFORE COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ASPEN. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT UNITS AND COMMON AREAS AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT UNITS AND COMMON AREAS AT ALL TIMES.

MITCH HARRIS
BUILDING COMPANY INC.

SUB. 1 THE ASPEN GARAGE LEFT
UNITS 78 AND 79
SCALE: 1/4" = 1'-0"
DATE: 07/20/2019

SHEET
1 OF 4



FRONT - LEFT - RIGHT
ELEVATION

SHEET
3 OF 4

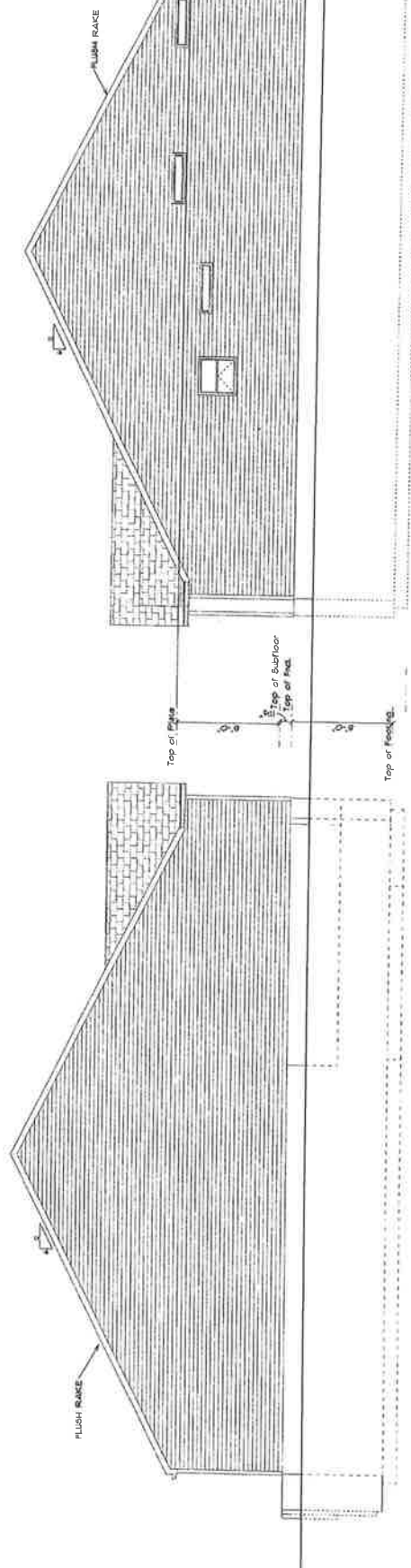
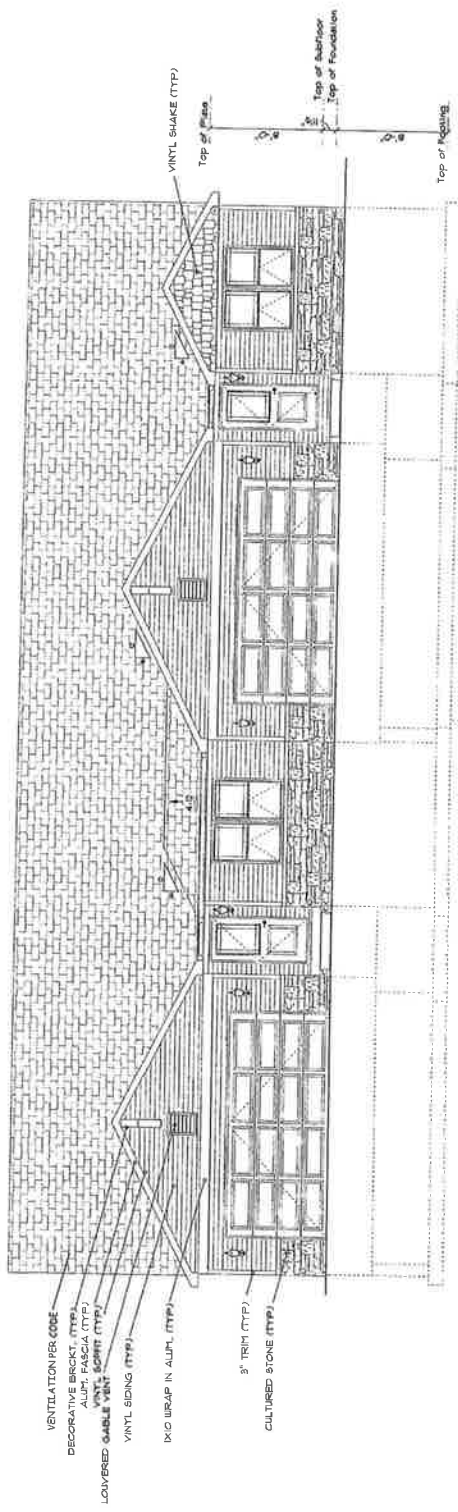
NOTE TO ALL CONTRACTORS:
ALL CONTRACTORS SHALL VERIFY CONDITIONS AND DIMENSIONS ON SITE. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS SHOWN ON THESE PLANS. ELEVATIONS, SECTION CUTS AND FINISHES SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND FINISHES.

MITCH HARRIS
BUILDING CONTRACTORS

NO. 1000
BLVD. LOT 20
SCALE: 1/4" = 1'-0"
DATE: JAN 13, 2016

MODEL: ASPEN
UNIT TO ASPEN GARAGE LEFT
UNIT TO ASPEN GARAGE LEFT

SHEET
3 OF 4



FRONT - LEFT - RIGHT
 ELEVATION

NOTE TO ALL CONTRACTORS

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MITCH HARRIS
 BUILDING COMPANY, INC.

NO. 100	PROJECT	ASPEN
NO. 101	DATE	01/15/07
NO. 102	BY	23

PROJECT: ASPEN
 UNIT: 30 ASPEN GARAGE LEFT
 UNIT: 10 ASPEN GARAGE LEFT

SHEET
 3 OF 4