

**MARION TOWNSHIP PLANNING COMMISSION
AGENDA**

REGULAR MEETING

**Due to COVID-19 considerations and consistent with State Policy:
The Township Planning Commission will meet in person April 27, 2021 at 7:30 pm**

However, there will be virtual access

Instructions to participate in the meeting are posted on www.mariontownship.com

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

INTRODUCTION OF MEMBERS:

APPROVAL OF AGENDA FOR: April 27, 2021 Regular Meeting

APPROVAL OF MINUTES FROM: March 23, 2021 Regular Meeting

CALL TO THE PUBLIC:

PUBLIC HEARING:

none

New BUSINESS:

1 Review SPR#02-20 Vern Brockway 1388 Lucy Road Industrial zoning FINAL Site Plan.

Old BUSINESS:

1) NONE

Correspondence and Updates and Discussion:

Master Plan Discussion and next steps.

CALL TO THE PUBLIC:

ADJOURNMENT:

Approved by: _____
Larry Grunn, Chairperson

Date: _____

**MARION TOWNSHIP PLANNING COMMISSION
IN-PERSON / VIRTUAL MEETING MINUTES
MARCH 23, 2021 / 7:30PM**

MEMBERS PRESENT:

LARRY GRUNN – CHAIRPERSON *(In-Person)*
JAMES ANDERSON – VICE CHAIR *(In-Person)*
CHERYL RANGE – SECRETARY *(In-Person)*
BOB HANVEY – *(In-Person)*
BRUCE POWELSON – *(In-Person)*

DRAFT

OTHERS PRESENT:

DAVE HAMANN – ZONING ADMINISTRATOR *(In-Person)*
JOHN ENOS – CARLISLE WORTMAN *(In-Person)*
ROB STANFORD – LIVINGSTON COUNTY DEPARTMENT OF PLANNING *(Virtual)*
MATT IKLE – LIVINGSTON COUNTY DEPARTMENT OF PLANNING *(Virtual)*

MEMBERS ABSENT:

NONE

CALL TO ORDER:

Larry Grunn called the meeting to order at 7:30 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MARCH 23, 2021 PLANNING COMMISSION MEETING AGENDA

Bruce Powelson made a motion to approve the Agenda for the March 23, 2021 Planning Commission meeting. Cheryl Range seconded. **MOTION CARRIED**

APPROVAL OF FEBRUARY 23, 2021 PLANNING COMMISSION MEETING MINUTES

Bruce Powelson made a motion to approve the February 23, 2021 Planning Commission Meeting Minutes, as amended. Jim Anderson seconded. **MOTION CARRIED**

CALL TO THE PUBLIC:

NONE

PUBLIC HEARING:

NONE

NEW BUSINESS

1) LIVINGSTON COUNTY PLANNING ANNUAL VISIT

Rob Stanford introduced himself. Rob is the Principal Planner for the Livingston County Department of Planning. Rob likes to do these meetings so the jurisdictions are up to date with things going on at the County and vice-versa. Rob explained that currently the Livingston County Department of Planning office is not open to the public but they are still regularly available for phone calls and emails.

The County Planning Department received a grant from SEMCOG for \$30,000 from their Planning Assistance program. This allowed the County to hire Greenway Collaborative Inc. to begin the first draft for the Livingston County Trail plan. In January 2020, they held a trail summit which allowed them to gather some public opinion. They have finished the 8–9-month process to develop a plan. This plan is available on the County's website, www.livgov.com/parks.

Fillmore County Park in Genoa Township, on the corner of Kellogg and McClements road, is open to the public since September 2020. Currently working on an agreement with HAPRA and SAPRA for use of the sports field for their youth programs.

Currently our County Parks and Open Space Advisory Committee is working on an Urban Night-Sky Place Designation from the International Dark Sky Association. This is out in Deerfield Township.

The County has resurrected our Brown Bag Lunch series which is currently being held via Zoom. We had one on March 11 and there were some good discussions that took place. These lunches are being videotaped and available on the County's new YouTube channel.

Matt Ikle is a member of the Livingston County Department of Planning. Matt has learned how fortunate they are to have the staff they do at the County Planning Department. The recent Master Plan that was put together has won national awards and is one of the best Master Plans he has ever seen.

NEW BUSINESS

2) RAY WARD PRE-APPLICATION FOR SHARED DRIVEWAY TO SPLIT PARCEL UNDER NEW DEVELOPMENT STANDARDS

Bruce Powelson asked if the parcels could be made a little bigger. Ray Ward said that it shouldn't be a problem. Dave Hamann explained that Ray will have to come back to a Planning Commission meeting for a private road inspection and further review.

Bob Hanvey asked Ray Ward if he had talked to our Assessor to confirm the number of splits available for this parcel. Ray Ward said that he has not talked to the Assessor yet but was confident that they had more splits available.

John Enos said that this is a decent plan and since Jesse Drive is not a busy road and it is not a public road, there should not be any issues with this. John Enos asked if Ray has a map of the wetlands.

Ray said that he does. John Enos asked for him to bring that for his private road inspection. John is comfortable with this split and recommends that Ray get with Dave about the private drive.

CORRESPONDENCE AND UPDATES:

MASTER PLAN UPDATE

John Enos explained that he met with Dave Hamann and Bruce Powelson about the Master Plan. They came up with some more changes and those changes have since been made. John brought updated Master Plan copies to be distributed to the Board of Trustees for review at their next meeting.

Les Andersen, 4500 Jewel Road, talked about a training that was put on by Catherine Mullhaupt with the MTA. She talked about how 98% of ZBA requests should be denied but with our ZBA Board, they actually approve about 90% of all ZBA requests.

When a person has a ZBA request, they are essentially asking for relief from the law. Their practical difficulty has to support their request for a variance and a practical difficulty can be anything that is unusual about the property. You should try to keep the financial aspect or cost of the property out of the equation.

Les Andersen asked how to prevent people from scanning the township looking for opportunities to purchase a property for an intended "Horse Farm" and later decide to start a landscaping business or auto repair shop. John

Enos said that your language is only as good as your enforcement. People are more willing to do things that are not necessarily allowed in certain areas when they know there is little to no enforcement within that township.

CALL TO THE PUBLIC:

NONE

ADJOURNMENT: Larry Grunn made a motion to adjourn the meeting at 8:45pm. Jim Anderson seconded. **MOTION CARRIED**



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

**Site Plan Review
For
Marion Township, Michigan**

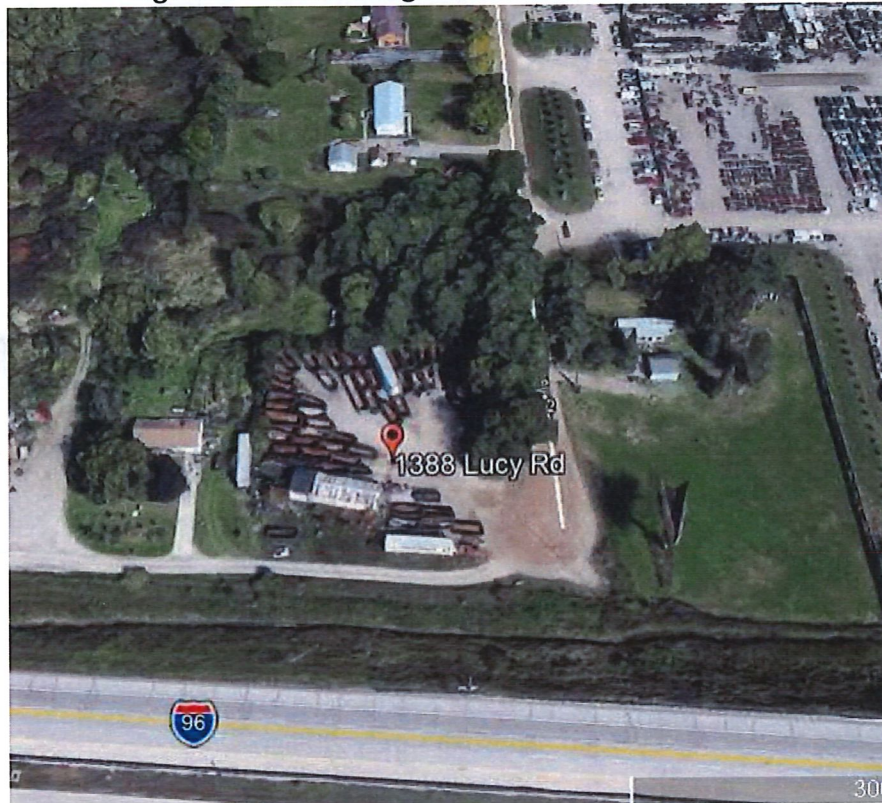
Applicant: Vern Brockway
Project Name: 1388 Lucy Road
Plan Date: September 25, 2020
Revision Date: February 26, 2021
Location: Lucy Road (Approximately .99 acres)
Zoning: LI: Light Industrial
Action Requested: Site Plan Approval
Required Information: Noted in Review

PROJECT AND SITE DESCRIPTION

The applicant, Vern Brockway is planning a major renovation to their site located at 1388 Lucy Road. Specifically, an approximately 1,354 square foot building will be removed and replaced with a larger 6,000 square foot repair shop and office building. Storage containers (Based on the latest aerial photo), mature trees, gravel parking and the existing poor condition building make up most of the site. As part of the project, access will be more clearly defined with a new drive on Lucy Road, stormwater basins will be constructed, and a drain field for septic service will be installed. No building elevations, landscaping, screening, lighting or signage have been provided.

This latest revision does not significantly change the building and parking layout of the site. However, the location of the stormwater facilities and septic locations have switched places. We actually prefer this location as it allows a better natural greenbelt between the site and I-96.

Figure 1 – Aerial Image of Site and Surroundings



Items to be addressed: None.

SURROUNDING ZONING AND LAND USE

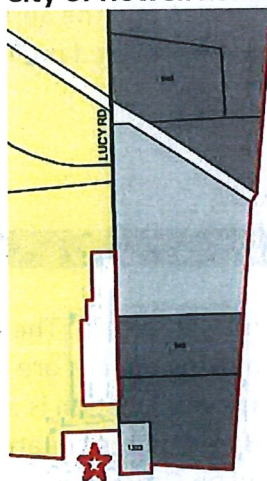
Table 1 – Surrounding Zoning and Land Use

Direction	Zoning	Use
North	City of Howell - Residential	Wooded
South	I-96 MDOT	Highway
East	City of Howell - Industrial	Salvage Yard
West	Residential	Home

Marion Township Zoning Map



City of Howell Zoning Map



Items to be addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

The proposed use is a permitted use in the Light Industrial District. The applicant is proposing to dress up the site with a new repair shop, office and other improvements.

Table 2 – Required and Provided Dimensions of the Proposed Building

	Required	Provided	Compliance
Minimum Lot Area	4 acres	.99 acres*	✓
Minimum Frontage	330 feet	120 feet*	✓
Setbacks:			
Front Yard(Building)	100 feet	76 feet	Variance Granted
Side Yard (North)	80 feet	54 feet	Variance Granted
Side Yard (South)	80 feet	70 feet	Variance Granted
Rear Yard	80 feet	49 feet	Variance Granted
Lot Coverage	40%	15%	✓
Maximum Height	40 feet	<40 feet	✓

We note that legally non-conforming uses and locations exist on the site, however all bulk regulation and landscape items have been granted variances by the ZBA.

Items to be addressed: The site was granted all required by the Zoning Ordinance by the Zoning Board of Appeals (ZBA) meeting on 1-4-21.

NATURAL RESOURCES

Significant natural features are shown on the plan and the aerial photo indicates mature trees on the northern boundary. These are shown on the provided preliminary plan and they are proposed to be removed.

Items to be addressed: None.

PARKING AND LOADING

A large gravel parking area exists on site and will remain. The plan indicates that the use for the new building will be repair and eight (8) parking spaces are proposed along with one (1) ADA accessible space located on concrete. A dumpster location is also shown in the northwest corner of the site. The dumpster will be enclosed. Based on the square footages of office and repair shop space we find this amount reasonable based on Ordinance requirements.

Items to be addressed: None.

SITE ACCESS AND CIRCULATION

No sidewalks exist within the site, or along its perimeter. Due to the site's location and lack of "walkable" parcels within proximity, visitation is likely achieved using a vehicle and sidewalks are not necessary. A proposed new driveway has been reviewed and approved by the Livingston County Road Commission approval. The Fire Department should review access to the proposed new building along with their ability to fight a fire on site. Truck turning templates have been provided on the plan indicating the ability of a large truck to circulate on site.

Items to be addressed: Fire Department review and approval.

LANDSCAPING AND SCREENING

No landscaping plan is provided. The plan indicates that landscaping will consist of grass, ground cover and mulch. This should be provided and includes and not limited to screening of adjacent uses. The applicant should review Section 6.13 of the Ordinance for direction on required landscaping. The Planning Commission may wish to consider waiving or modifying landscape requirements for this site due to the location and adjacent land uses. We are of the opinion the applicant is significantly improving the site and significant landscaping is not necessary due to the location and area. The proposed stormwater basins will be natural vegetative covers.

Items to be addressed: Clarify whether any landscaping will be installed besides grass.

ESSENTIAL FACILITIES AND SERVICES

A well is shown just south of the driveway access. A septic tank and drain field are also shown on the plan and will be located behind the building. Livingston County Environmental Health has reviewed and approved the location of the well and septic system. The Livingston County Drain Commissioner will be required to review and approve the stormwater system. Retention/Sedimentation basins are proposed on the south side. The Township Engineer will do a detailed review of infrastructure during the final site plan review phase.

Items to be addressed: Livingston County Drain Commission review and approval of stormwater system.

LIGHTING

The applicant should indicate any existing or proposed lighting within the site. Any proposed lighting can be provided during final site plan review.

Items to be addressed: Provide at final site plan review information regarding existing or proposed lighting.

RECOMMENDATIONS

We would recommend approval of the preliminary site plan as submitted conditional upon the following issues being addressed at Final Site Plan. We look forward to clean up and improvement of the site.

1. Provide at final site plan review information such as lighting, building elevations and landscaping.
2. Township Engineer review and approval of all proposed infrastructure.
3. Clarify whether any landscaping will be installed besides grass.
4. Livingston County Drain Commission review and approval of stormwater system.
5. Fire Department review and approval.

Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628
Internet Address: www.livingstonroads.org

March 4, 2021

Al Pruss, P.E.
Monument Engineering Group Associates, Inc.
298 Veterans Drive
Fowlerville, MI 48836

Re: 1388 Lucy Road, Marion Township, Section 1
LCRC# C-20-10

Dear Mr. Pruss:

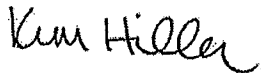
I have completed the review of the revised plans for a commercial driveway approach off Lucy Road for a repair shop, dated February 26, 2021, for the above-referenced project and have determined the plans to be in substantial compliance with our specifications.

Before a commercial approach permit can be issued, the following items need to be completed.

1. A contractor needs to be selected and the selected contractor must submit a certificate of insurance to the LCRC with the following language: "The Board of Livingston County Road Commissioners, the Livingston County Road Commission, and their officers, agents, and employees are listed additional insured parties with respects to General Liability."
2. Written approval from the adjacent property owner(s) needs to be submitted for the removal of any obstructions located within the clear vision area.
3. Two (2) sets of the approved plans need to be submitted.
4. The additional permit fees (\$60.00) need to be paid.

If you have any questions, please do not hesitate to contact me.

Sincerely,



Kim Hiller, P.E.
Utilities and Permits Engineer

Cc: File

Dave Hamann, Marion Township (via email)
Phil Westmorland, Rowe (via email)
Ken Recker, Livingston County Drain Commissioner's Office (via email)



April 7, 2021

Allan W. Pruss
Monument Engineering Group Associates, Inc
298 Veterans Drive
Fowlerville, MI 48836

RE: 1382 Lucy Road
Construction Plan Review

Dear Mr. Hamann,

We have received and reviewed the Construction Plan for the development of 1382 Lucy Road. The plans were prepared by Monument Engineering Group Associates on behalf of Vern Brockway and last revised on January 14, 2021. We offer the following comments:

1. The proposed septic system should specify a length, size, and type of the pipe.
2. The size and type of pipe, connecting the well to the building, should be specified.
3. The "Emergency Overflow Spillway" leader, on sheet C-7.0, should be moved so that it points at the correct location.

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,

A handwritten signature in black ink that reads "Brian Han".

Brian Han
Design Engineer
Phone: (708) 846-3470
Cell: (708) 846-3470
Mailto: brian.han@spicergroup.com

A handwritten signature in black ink that reads "Kevin J Wilks".

Kevin J Wilks, P.E.
Project Manager
Phone: (248) 846-3470
Cell: (616) 550-7837
mailto: kevinw@spicergroup.com

SPICER GROUP, INC.
125 Helle Dr, Suite 2
Dundee, MI 48131

CC: SGI File
Dave Hamann, Zoning Administrator
Al Pruss



April 12, 2021

Allan W. Pruss
Monument Engineering Group Associates, Inc
298 Veterans Drive
Fowlerville, MI 48836

RE: 1382 Lucy Road
Final Completion Notification

Mr. Pruss,

We have reviewed the Construction Plans for 1382 Lucy Road in Marion Township, MI., dated 4/07/2021. Based on our review, we feel that these plans are in conformance with applicable standards and requirements. Please consider the following next steps:

1. The Township may require an escrow be created to cover the cost of inspection.
2. A pre-construction meeting should be held prior to start of any construction activity.
3. The selected contractor should submit an insurance certificate listing Marion Township and Spicer Group, Inc. as additional insured.

If you have any questions or require anything further, please contact Kevin Wilks at the phone number listed below.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian Han".

Brian Han
Design Engineer
Cell: (708) 846-3470
Mailto: brian.han@spicergroup.com

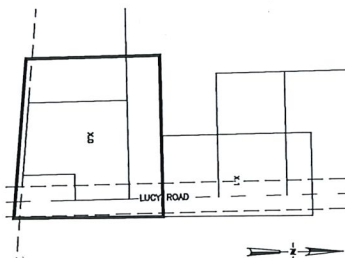
A handwritten signature in black ink, appearing to read "Kevin J Wilks".

Kevin J Wilks, P.E.
Project Manager
Cell: (616) 550-7837
mailto: kevinw@spicergroup.com

SPICER GROUP, INC.
125 Helle Dr, Suite 2
Dundee, MI 48131

CC: SGI File
Dave Hamann, Zoning Administrator

EXISTING LEGEND

[illegible]

DATED 10/22/2020

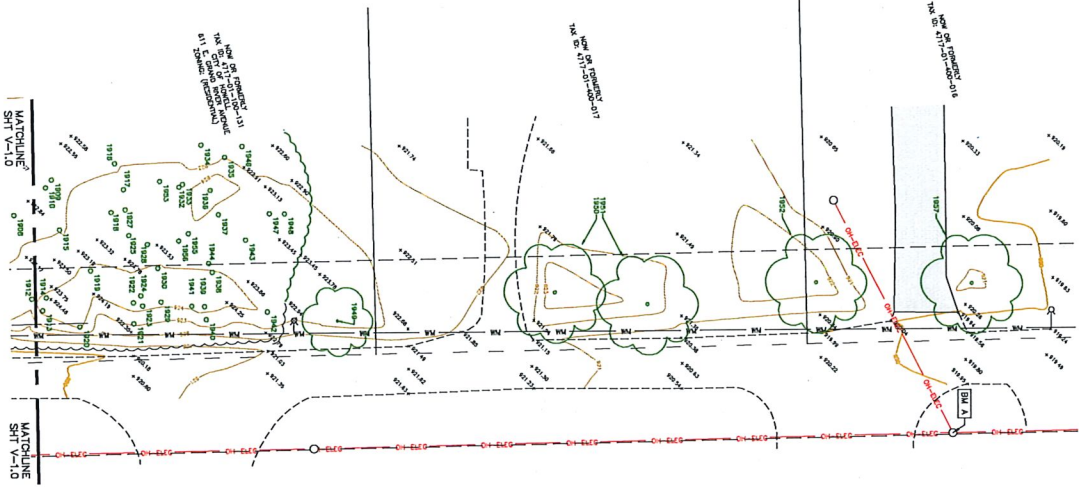
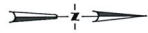
2025 RELEASE UNDER E.O. 14176

DATED 10/22/2020

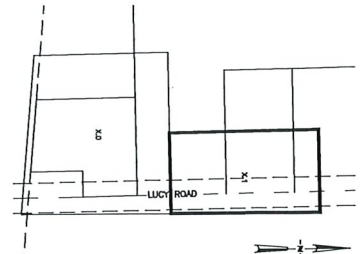
HOWELL, MI 48855

NOT FOR CONSTRUCTION

1388 LUCY ROAD TOPOGRAPHIC SURVEY (CONT.)



SHEET KEY



TOPOGRAPHIC SURVEY (CONT.)

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	10/12/2020
SITE PLAN RESUBMITTAL	11/16/2020
SITE PLAN RESUBMITTAL	11/23/2020
SITE PLAN RESUBMITTAL	11/23/2020
SITE PLAN RESUBMITTAL	12/23/2020
SITE PLAN RESUBMITTAL	1/8/2021
SITE PLAN RESUBMITTAL	1/14/2021
SITE PLAN RESUBMITTAL	2/26/2021

NOT FOR CONSTRUCTION

V-1.1



HARTLEY GEOTECHNICAL GROUP

TESTING RECORD

TEST NO.	TEST TYPE	TEST DATE	TEST RESULT
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TESTING RECORD
TEST NO. 1
TEST TYPE 1
TEST DATE 1
TEST RESULT 1

HARTLEY GEOTECHNICAL GROUP

TESTING RECORD

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TESTING RECORD
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HARTLEY GEOTECHNICAL GROUP

TESTING RECORD

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HARTLEY GEOTECHNICAL GROUP

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TESTING RECORD
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TEST DATE 1
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HARTLEY GEOTECHNICAL GROUP

TESTING RECORD

TEST NO.	TEST TYPE	TEST DATE	TEST RESULT
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TESTING RECORD
TEST NO. 1
TEST TYPE 1
TEST DATE 1
TEST RESULT 1

HARTLEY GEOTECHNICAL GROUP

TESTING RECORD

TEST NO.	TEST TYPE	TEST DATE	TEST RESULT
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TESTING RECORD
TEST NO. 1
TEST TYPE 1
TEST DATE 1
TEST RESULT 1

SOIL BORING LOGS

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

V-12

1388 LUCY ROAD TREE SURVEY

SHEET KEY

TREE SURVEY LEGEND

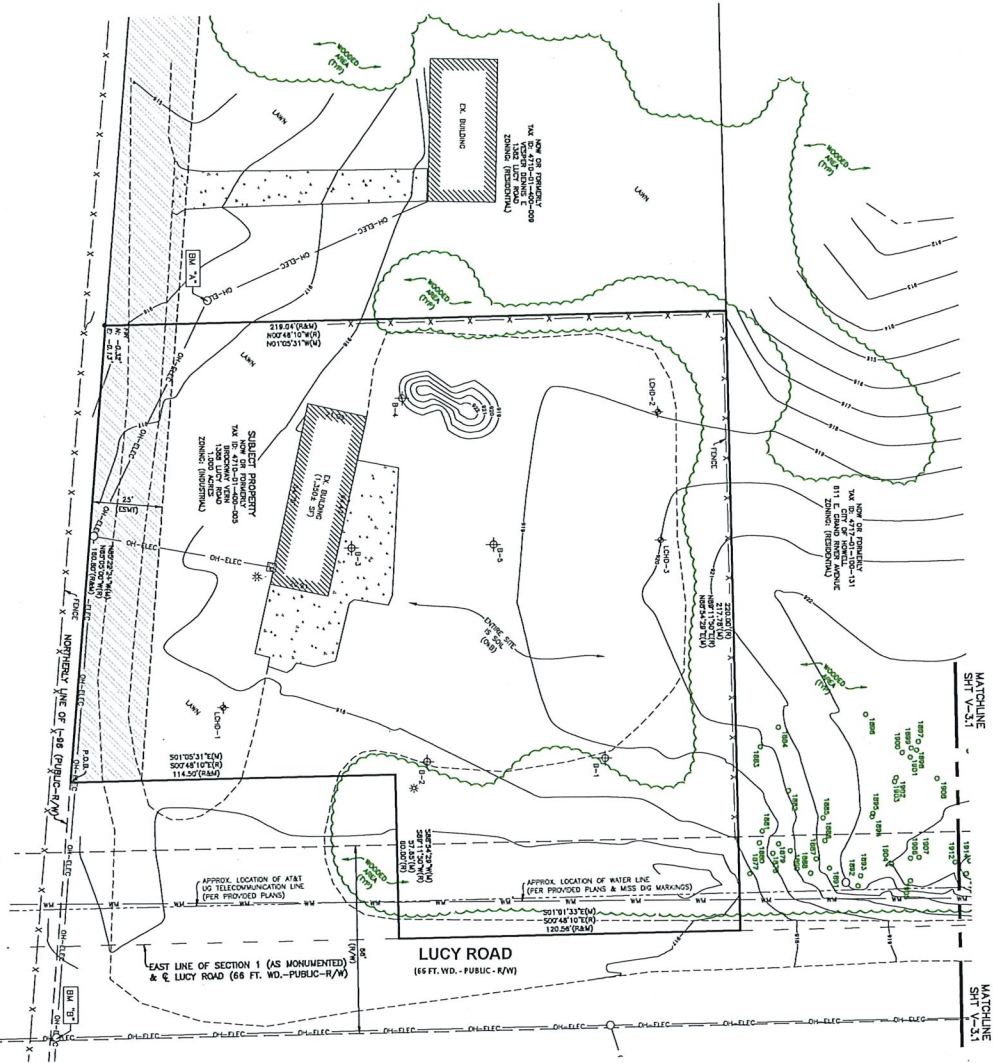
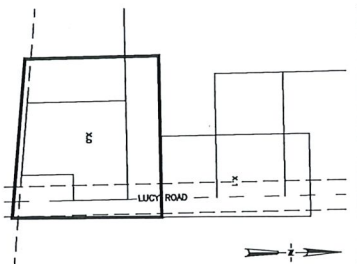
- SCISSOR TREE
- CHARMING TREE
- TREE LINE / CANOPY
- TREE TAG NUMBER
- USE TREE SCHEDULE
- TREE TO BE REMOVED

TREE PRESERVATION NOTE

ANY TREES NOT MARKED OR SHOWN PER PLAN ARE TO BE PROTECTED & PRESERVED DURING CONSTRUCTION.

TREE INVENTORY

SEE SHEET V-3.1 FOR COMPLETE TREE INVENTORY.



TREE SURVEY

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	10/12/2020
SITE PLAN RESUBMITTAL	11/10/2020
SITE PLAN RESUBMITTAL	11/26/2020
SITE PLAN RESUBMITTAL	11/23/2020
SITE PLAN RESUBMITTAL	1/6/2021
SITE PLAN RESUBMITTAL	1/16/2021
SITE PLAN RESUBMITTAL	2/26/2021

PROJECT NO: 20-102	DATE: 2/26/2021
SCALE: 1" = 30'	
FIELD: CM	
DRAWN BY: SM, KM	
CHECKED BY: AP	

V-3.0

NOT FOR CONSTRUCTION

DRAFT

Michigan Engineering & Consulting Association

 2000 W. LANSING AVENUE

 LANSING, MI 48226

 TEL: 313.224.1111

 FAX: 313.224.1112

 WWW.MICHIGANENGINEERING.COM

 2020 MECA Awardee

CEA 100% FIRM

 14400 W. LANSING AVENUE

 LANSING, MI 48226

 TEL: 313.224.1111

 FAX: 313.224.1112

 WWW.MICHIGANENGINEERING.COM

 2020 MECA Awardee

CLIENT :

 VERN BROCKWAY

 5323 OAK GROVE ROAD

 FARMINGTON, MI 48335

TREE INVENTORY

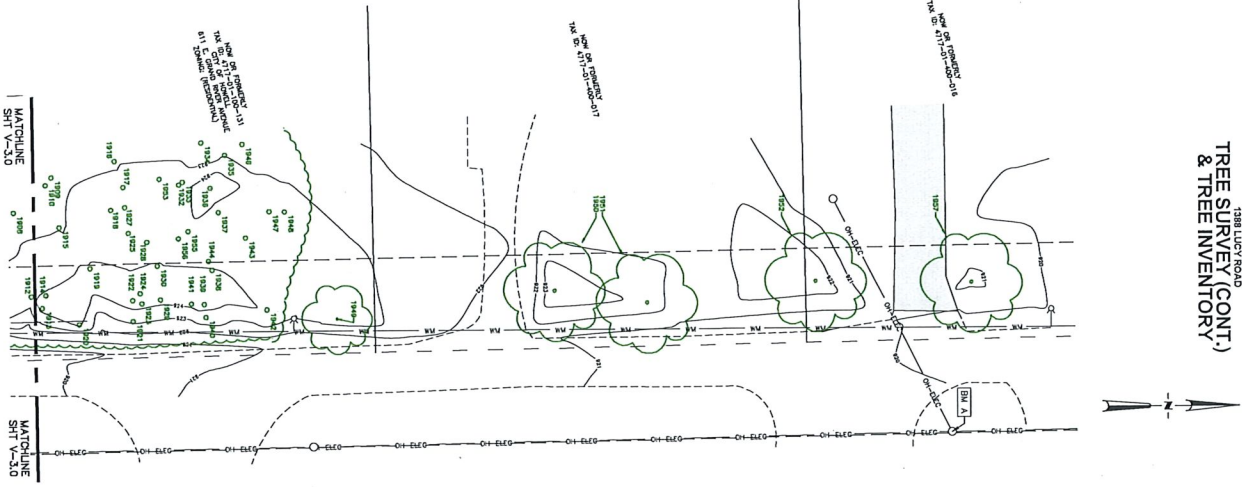
ME
Marion Engineering Group, Inc.
20000 Westland Drive, Westland, MI 48186
(734) 223-2312
www.marionengineering.com

Tree Survey

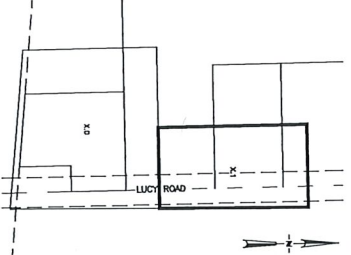
Date: 2/2/2021

Tag No.	Species	D.B.H. (inches)	Condition	Notes
1877	B. LARIX	14.2	GOOD	
1878	B. LARIX	12.2	GOOD	
1879	B. LARIX	5.9	GOOD	
1880	B. LARIX	8.8	GOOD	
1881	B. LARIX	8.8	GOOD	
1882	B. LARIX	11.2	GOOD	
1883	B. LARIX	16.2	GOOD	
1884	B. LARIX	10.98	GOOD	
1885	B. LARIX	11	GOOD	
1886	B. LARIX	13.2	GOOD	
1887	B. LARIX	5.3	GOOD	
1888	B. LARIX	17.2	GOOD	MAINT
1889	B. LARIX	7.4	GOOD	
1890	B. LARIX	14.8	GOOD	
1891	B. LARIX	14.8	GOOD	
1892	B. LARIX	14.1	GOOD	
1893	B. LARIX	14.1	GOOD	
1894	B. LARIX	6.7	GOOD	
1895	B. LARIX	6.7	GOOD	
1896	B. LARIX	10.8	GOOD	
1897	B. LARIX	5.4	GOOD	
1898	B. LARIX	5.4	GOOD	
1899	B. LARIX	5.3	GOOD	
1900	B. LARIX	6.3	GOOD	
1901	B. LARIX	4.1	GOOD	
1902	B. LARIX	4.1	GOOD	
1903	B. LARIX	5.9	GOOD	
1904	B. LARIX	7.2	GOOD	
1905	B. LARIX	7.2	GOOD	
1906	B. LARIX	8.5	GOOD	
1907	B. LARIX	8.5	GOOD	
1908	B. LARIX	8.7	GOOD	
1909	B. LARIX	8.7	GOOD	
1910	B. LARIX	5.2	GOOD	
1911	B. LARIX	5.2	GOOD	
1912	B. LARIX	8.9	GOOD	
1913	B. LARIX	8.9	GOOD	
1914	B. LARIX	6.2	GOOD	
1915	B. LARIX	4.5	GOOD	
1916	B. LARIX	7.8	GOOD	
1917	B. LARIX	8.3	GOOD	
1918	B. LARIX	4.7	GOOD	
1919	B. LARIX	4.7	GOOD	
1920	B. LARIX	5.2	GOOD	
1921	B. LARIX	4.6	GOOD	
1922	B. LARIX	4.6	GOOD	
1923	B. LARIX	7.8	GOOD	
1924	B. LARIX	5.7	GOOD	
1925	B. LARIX	5.7	GOOD	
1926	B. LARIX	8.8	GOOD	
1927	B. LARIX	6.1	GOOD	
1928	B. LARIX	6.1	GOOD	
1929	B. LARIX	4.2	GOOD	
1930	B. LARIX	4.2	GOOD	
1931	B. LARIX	5.2	GOOD	
1932	B. LARIX	4.6	GOOD	
1933	B. LARIX	4.6	GOOD	
1934	B. LARIX	8	GOOD	
1935	B. LARIX	8	GOOD	
1936	B. LARIX	6.3	GOOD	
1937	B. LARIX	5.2	GOOD	
1938	B. LARIX	5.2	GOOD	
1939	B. LARIX	6.5	GOOD	
1940	B. LARIX	5.2	GOOD	
1941	B. LARIX	11.1	GOOD	
1942	B. LARIX	11.1	GOOD	
1943	B. LARIX	9.7	GOOD	
1944	B. LARIX	7.8	GOOD	
1945	B. LARIX	4.7	GOOD	
1946	B. LARIX	4.7	GOOD	
1947	B. LARIX	12.2	GOOD	
1948	B. LARIX	5.2	GOOD	
1949	B. LARIX	5.2	GOOD	
1950	B. LARIX	14.4	GOOD	
1951	B. LARIX	14.4	GOOD	
1952	B. LARIX	22.1	GOOD	
1953	B. LARIX	22.1	GOOD	
1954	B. LARIX	4.4	GOOD	
1955	B. LARIX	4.4	GOOD	
1956	B. LARIX	4.4	GOOD	
1957	B. LARIX	15.1	GOOD	

TREE SURVEY (CONT.) & TREE INVENTORY



SHEET KEY



TREE SURVEY LEGEND

- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE LUMP/CLUMP
- TREE LUMP/CLUMP
- TREE TO BE REMOVED

TREE PRESERVATION NOTE

ALL TREES WITHIN 25 FEET OF EXISTING OR PROPOSED CONSTRUCTION SHALL BE PROTECTED & PRESERVED DURING CONSTRUCTION.

TREE SURVEY & TREE INVENTORY

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
1. SITE PLAN SUBMITTAL	10/15/2020
2. SITE PLAN RESUBMITTAL	11/17/2020
3. SITE PLAN RESUBMITTAL	11/23/2020
4. SITE PLAN RESUBMITTAL	12/23/2020
5. SITE PLAN RESUBMITTAL	1/14/2021
6. SITE PLAN RESUBMITTAL	2/2/2021

PROJECT NO: 20-102
SCALE: N/A
FIELD: CM
DRAWN BY: RM, LM
CHECK BY: JP
V-3.1

NOT FOR CONSTRUCTION

CONCRETE PAVEMENT SECTION

APPROX. 10' DUMPSTER PAD & ASPH/CON

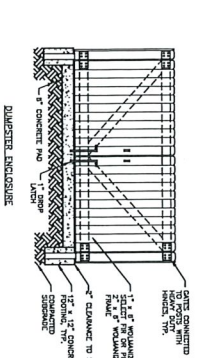
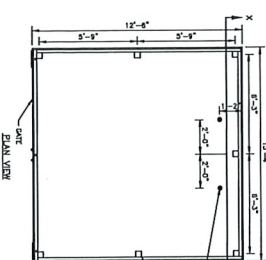
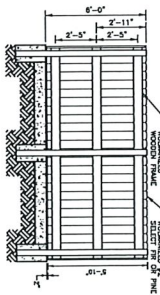
1. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%
2. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%
3. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%
4. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%

GRAVEL PAVEMENT SECTION

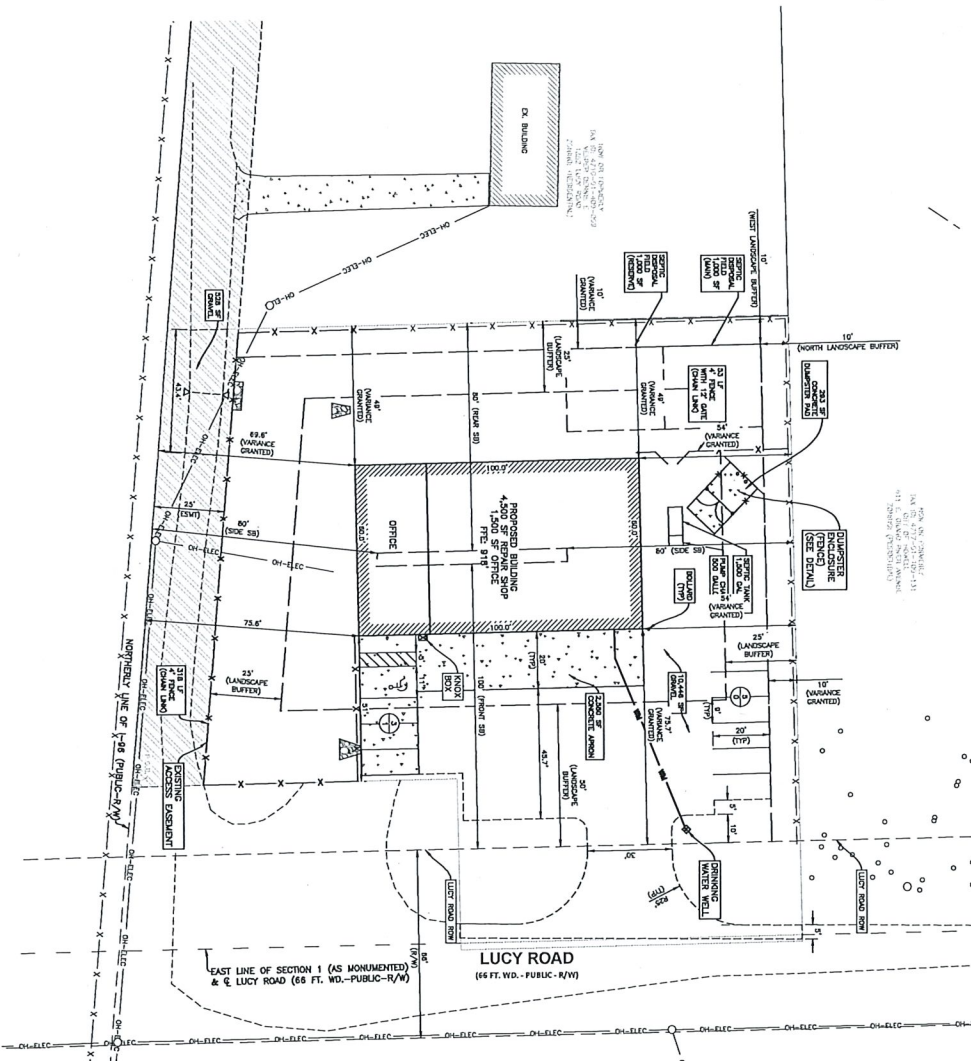
APPROX. 10' DUMPSTER PAD & ASPH/CON

1. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%
2. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%
3. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%
4. 4" P. 1" SLAB & 1" BASE COMPACTED TO 95%

DUMPSTER ENCLOSURE DETAIL



1388 LUCY ROAD DIMENSION AND PAVING PLAN



NOTES

1. DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED OF THE SAME BRICK MATERIAL AS THE ADJACENT BUILDING.
2. SCREENING SHALL BE PROVIDED FOR ALL MECHANICAL EQUIPMENT.
3. PAVING LOT DETAILS SHALL BE PROVIDED IN GRASS, GRASSY COVER OR GRASS.

PAVEMENT LEGEND

1. 4" P. 1" SLAB & 1" BASE	2. 4" P. 1" SLAB & 1" BASE
3. 4" P. 1" SLAB & 1" BASE	4. 4" P. 1" SLAB & 1" BASE
5. 4" P. 1" SLAB & 1" BASE	6. 4" P. 1" SLAB & 1" BASE
7. 4" P. 1" SLAB & 1" BASE	8. 4" P. 1" SLAB & 1" BASE
9. 4" P. 1" SLAB & 1" BASE	10. 4" P. 1" SLAB & 1" BASE

ZONING INFORMATION

THIS ZONING INFORMATION IS TAKEN FROM THE MARION TOWNSHIP ZONING ORDINANCE.

SUBJECT PARCELS ZONING CLASSIFICATION:

EDP1 (RESIDENTIAL)

INTENDED USE:

REPAIR

BUILDING STRUCKS:

FRONT (EAST): 100'

REAR (WEST): 100'

LANDSCAPE BUFFER:

FRONT (EAST): 25'

REAR (WEST): 25'

PROPOSED BUILDING:

6,000 SF

MAX LOT COVERAGE:

40%

MAX LOT COVERAGE:

25%

PROPOSED PARKING:

1.00 AC

PROPOSED PARKING:

1.00 AC

PROPOSED PARKING:

1.00 AC

PROPOSED PARKING:

1.00 AC

PROPOSED PARKING:

1.00 AC

PROPOSED PARKING:

1.00 AC

PROPOSED PARKING:

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1.00 AC

PROPOSED PARKING:

1.00 AC

PROPOSED PARKING:

1.00 AC

DIMENSION AND PAVING PLAN

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

DATE	PLAN SUBMITTALS/REVISIONS
10/12/2020	SITE PLAN SUBMITTAL
11/10/2020	SITE PLAN RESUBMITTAL
11/20/2020	SITE PLAN RESUBMITTAL
11/23/2020	SITE PLAN RESUBMITTAL
12/23/2020	SITE PLAN RESUBMITTAL
1/8/2021	SITE PLAN RESUBMITTAL
1/14/2021	SITE PLAN RESUBMITTAL
2/28/2021	SITE PLAN RESUBMITTAL

PROJ: 100-20-102

SCALE: 1"= 20'

1/2"= 1'

FIELD: C/W
DESIGN: B/W
CHECK: B/W
BY: AP

ORIGINAL ISSUE DATE: 8/23/2020

C-10

PROJECT: 1388-102

SCALE: 1" = 20'

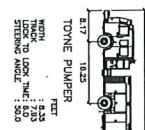
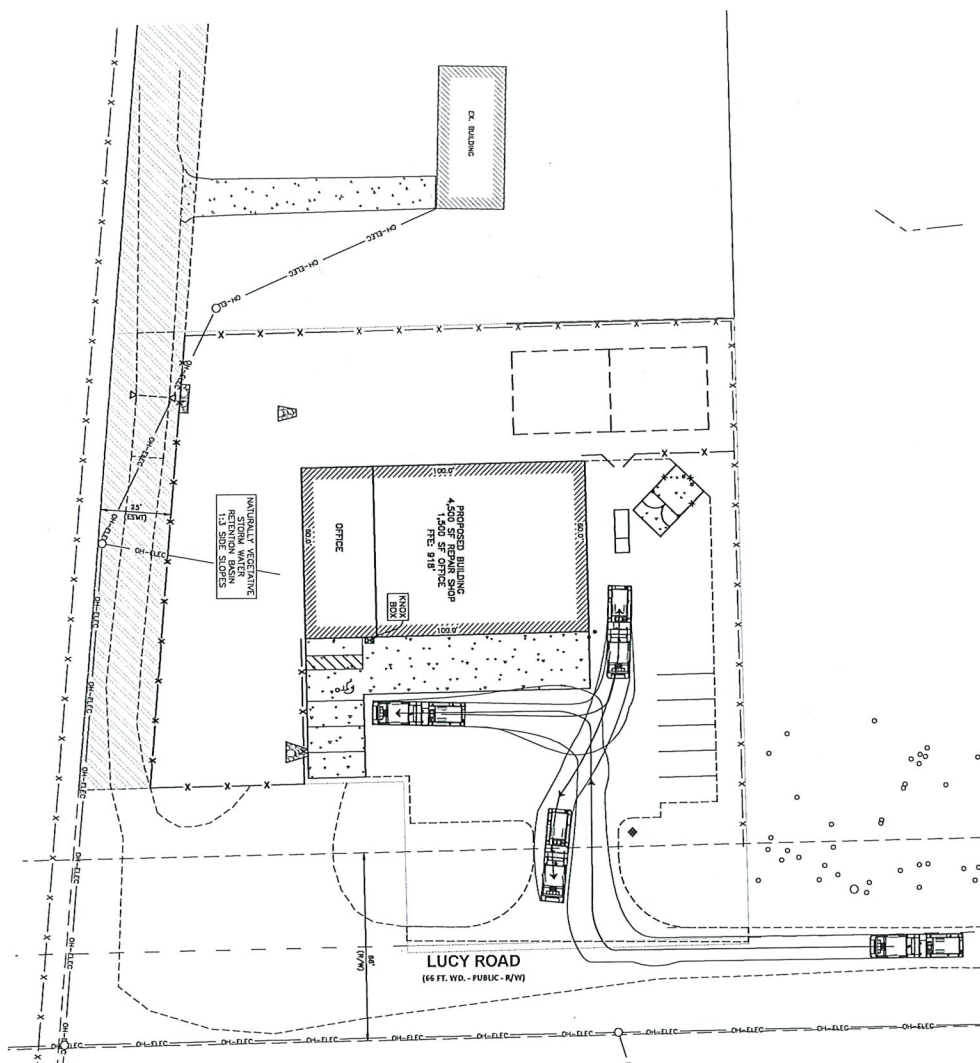
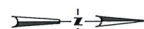
FIELD: 1" = 20'

DRAWN BY: J. M. M.

CHECK BY: J. M. M.

C-10

NOT FOR CONSTRUCTION



1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	10/15/2020
SITE PLAN RESUBMITTAL	11/10/2020
SITE PLAN RESUBMITTAL	11/20/2020
SITE PLAN RESUBMITTAL	11/23/2020
SITE PLAN RESUBMITTAL	12/23/2020
SITE PLAN RESUBMITTAL	1/8/2021
SITE PLAN RESUBMITTAL	1/14/2021
SITE PLAN RESUBMITTAL	2/23/2021

9/23/2020

PROJECT NO: 20-102

SCALE: 1" = 20'

FIELD: CM

DRAWN BY: BM, MN

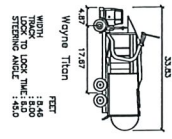
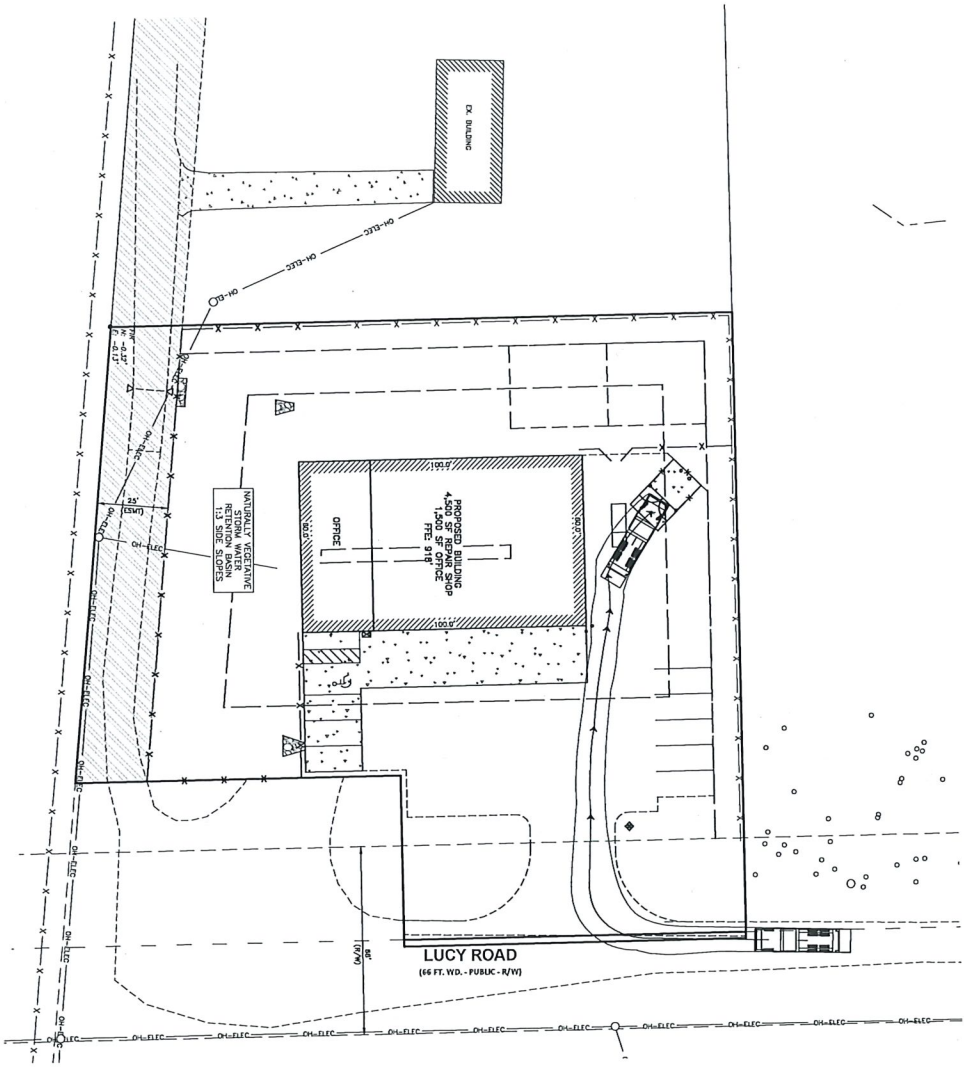
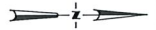
DESIGN BY: DO

CHECK BY: AP

C-2.0

NOT FOR CONSTRUCTION

1388 LUCY ROAD REFUSE VEHICLE CIRCULATION PLAN



REFUSE VEHICLE

WIDTH: 8'6"
HEIGHT: 10'0"
WHEELBASE: 17'0"
STEEPING ANGLE: 1:4.0

VEHICLE CIRCULATION PLAN 1388 LUCY ROAD PART OF SE 1/4 OF SEC. 1, T2N-R4E MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	10/15/2020
SITE PLAN RESUBMITTAL	11/10/2020
SITE PLAN RESUBMITTAL	11/23/2020
SITE PLAN RESUBMITTAL	12/23/2020
SITE PLAN RESUBMITTAL	1/4/2021
SITE PLAN RESUBMITTAL	1/14/2021
SITE PLAN RESUBMITTAL	2/24/2021

PROJECT: 105-20-102
SCALE: 1" = 20'
FIELD: 1/2"
DRAWN BY: JN, AK
CHECKED BY: AP
C-21

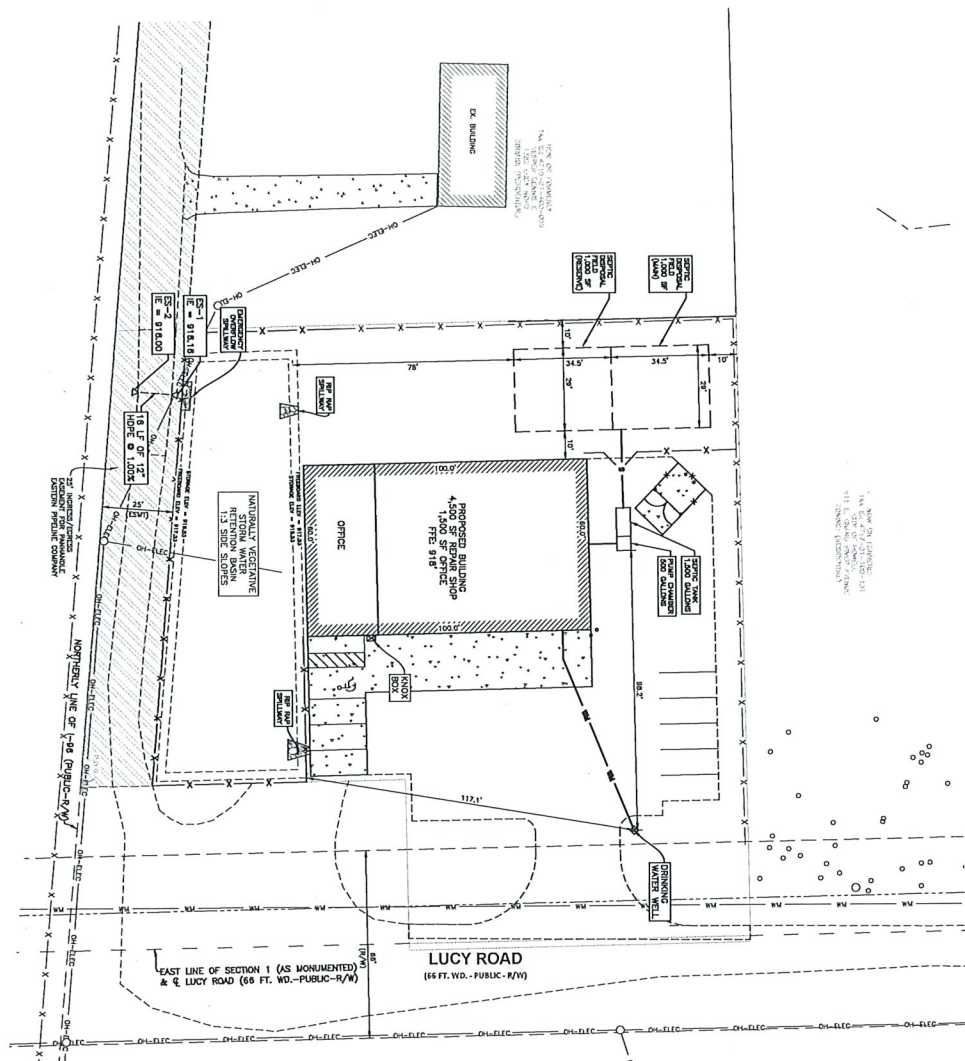
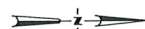
NOT FOR CONSTRUCTION

ME
G.A. ASSOCIATES, INC.
ENGINEERS
2771
STATE OF MICHIGAN
LICENSE NO. 2771

CLIENT: VERN BROCKWAY
8523 DMC DRIVE ROAD
HUNTSVILLE, AL 35893

DATE: 10/15/2020
BY: JN, AK
CHECKED BY: AP

EXISTING



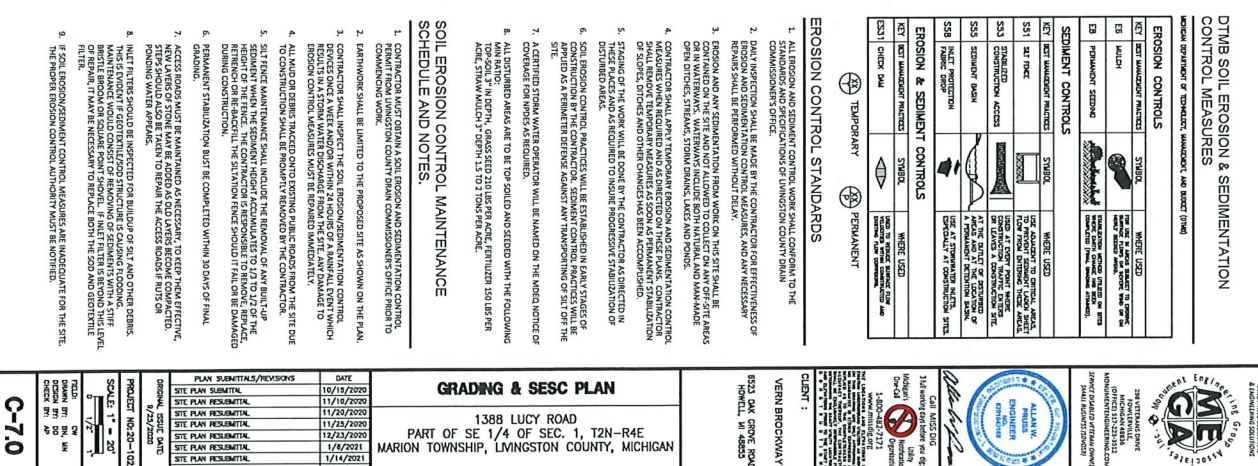
1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	10/19/2020
SITE PLAN RESUBMITTAL	11/10/2020
SITE PLAN RESUBMITTAL	11/20/2020
SITE PLAN RESUBMITTAL	11/25/2020
SITE PLAN RESUBMITTAL	12/23/2020
SITE PLAN RESUBMITTAL	1/6/2021
SITE PLAN RESUBMITTAL	1/14/2021
SITE PLAN DEED EXHIBIT	3/28/2021

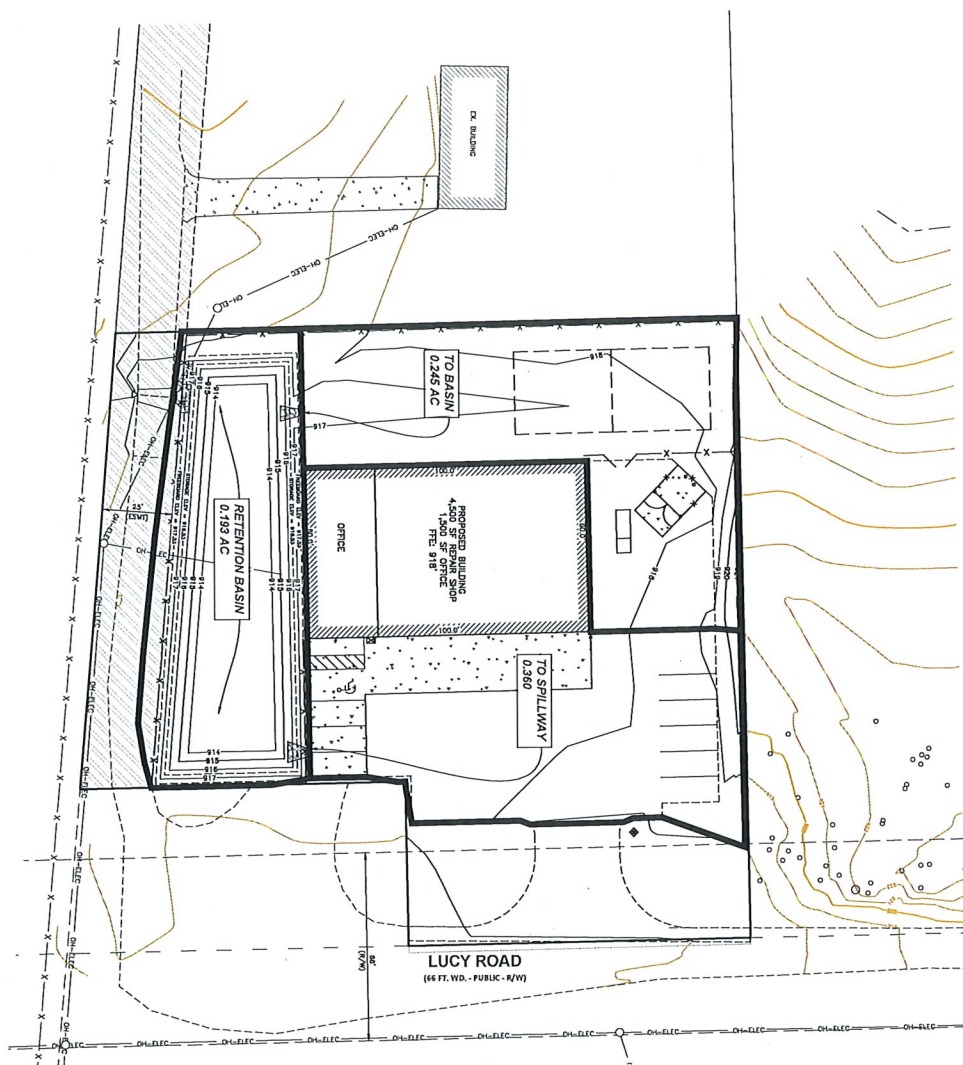
C-3.0

SESC LEGEND

-



1388 LUCY ROAD



PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	10/15/2020
SITE PLAN RESUBMITTAL	11/10/2020
SITE PLAN RESUBMITTAL	11/20/2020
SITE PLAN RESUBMITTAL	11/23/2020
SITE PLAN RESUBMITTAL	12/23/2020
SITE PLAN RESUBMITTAL	1/8/2021
SITE PLAN RESUBMITTAL	1/14/2021
SITE PLAN RESUBMITTAL	2/26/2021

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

VERN BROCKWAY

CLIENT :

[illegible]

C-9.0

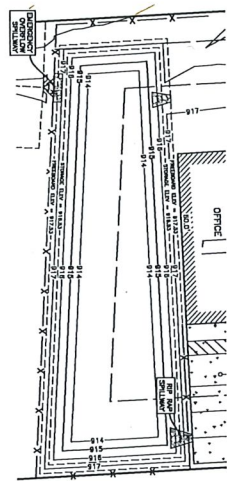
NOT FOR CONSTRUCTION

STORM WATER MANAGEMENT RETENTION BASIN DETAILS

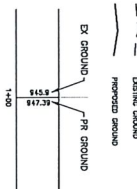
RETENTION BASIN CALCULATIONS

SITE INFO			
TRIBUTARY AREA (A)			0.796 AC
RUNOFF COEFFICIENT (C)			0.49
REQUIRED RETENTION VOLUME			
TWO CONSECUTIVE 100 YEAR STORMS			
WITH 1' OF FREEBOARD			
2 X 10.000 I A X C			12.893 FT ³
COMPOUND RUNOFF COEFFICIENT			
OVERALL	AREA (SF)	AREA (AC)	
COMPOUNDING	34,783	0.796	
RETAINING	0	0.000	
EX PAVEMENT	0	0.300	0
EX CONCRETE	2,873	0.065	2.855
EX GRAVEL	8,400	0.192	8.400
NATURAL	37,200	0.850	3,484
TOTALS	34,783	1.656	15,945
COMPOUND C = COMPOUNDING AREA			
COMPOUND C	34,783	15,945	0.49
PROPOSED RETENTION BASIN VOLUME			
ELEVATION AREA (FT)	AVG AREA	INC VOLUME	VOLUME
913.42	2,800	1,660	1,660
914	3,122	3,600	5,260
915	4,079	3,600	5,260
916	5,107	4,593	9,853
917	6,208	5,658	15,511
917.23	6,821	3,062	18,573 278 + 873.23'
STORM ELEVATIONS			
TWO CONSECUTIVE 100 YEAR STORMS			
ELEVATION 1		916.00	VOLUME 1
ELEVATION 2		917.20	VOLUME 2
NO RETENTION ELEVATION (FIN)		916.50	VOLUME 1
1' FREEBOARD ELEVATION (FIN)		917.23	VOLUME 2
			9,853
			15,511
			12,893

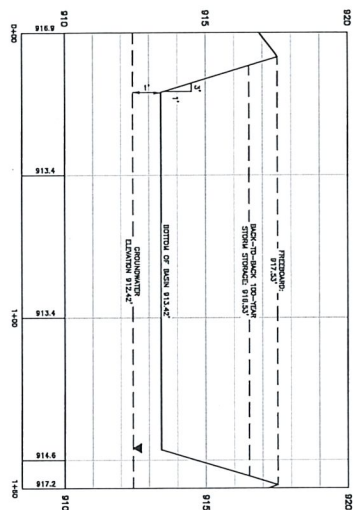
RETENTION BASIN PLAN & PROFILE



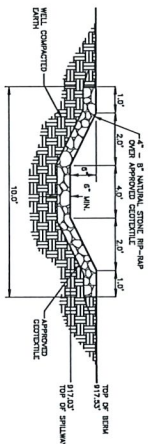
LEGEND



RETENTION BASIN



EMERGENCY OVERFLOW SPILLWAY DETAIL



STORM WATER MANAGEMENT

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

VERNI BROCKHOFF

8533 OK GROVE ROAD
HONOLULU, HI 96825

CLIENT :

1,800-352-7171

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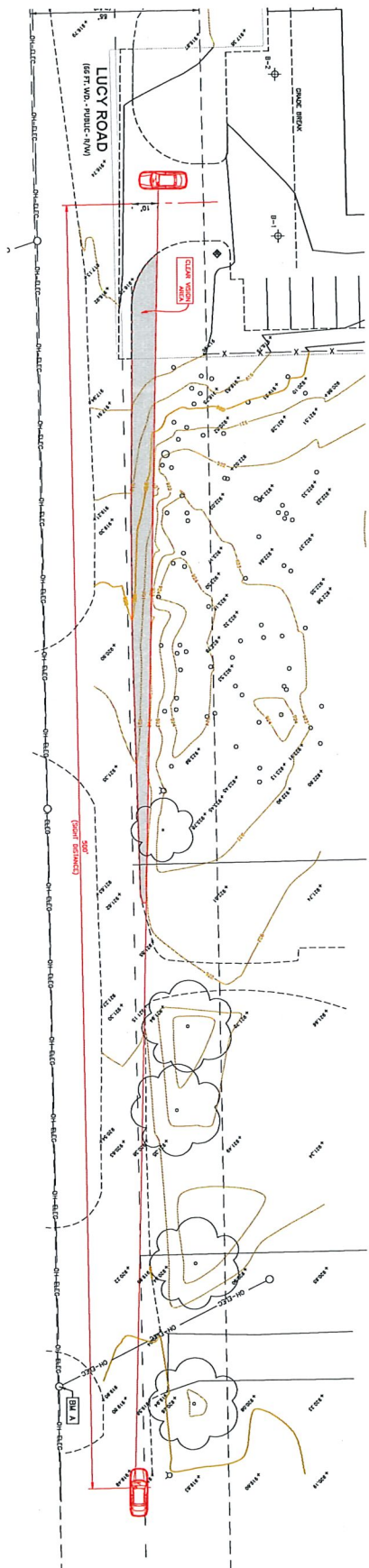
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1,800-352-7171

C-92

NOT FOR CONSTRUCTION



PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	10/13/2020
SITE PLAN RESUBMITTAL	11/16/2020
SITE PLAN RESUBMITTAL	11/26/2020
SITE PLAN RESUBMITTAL	11/25/2020
SITE PLAN RESUBMITTAL	12/23/2020
SITE PLAN RESUBMITTAL	1/6/2021
SITE PLAN RESUBMITTAL	1/14/2021
SITE PLAN RESUBMITTAL	2/24/2021

SIGHT DISTANCE PLAN (EOP)

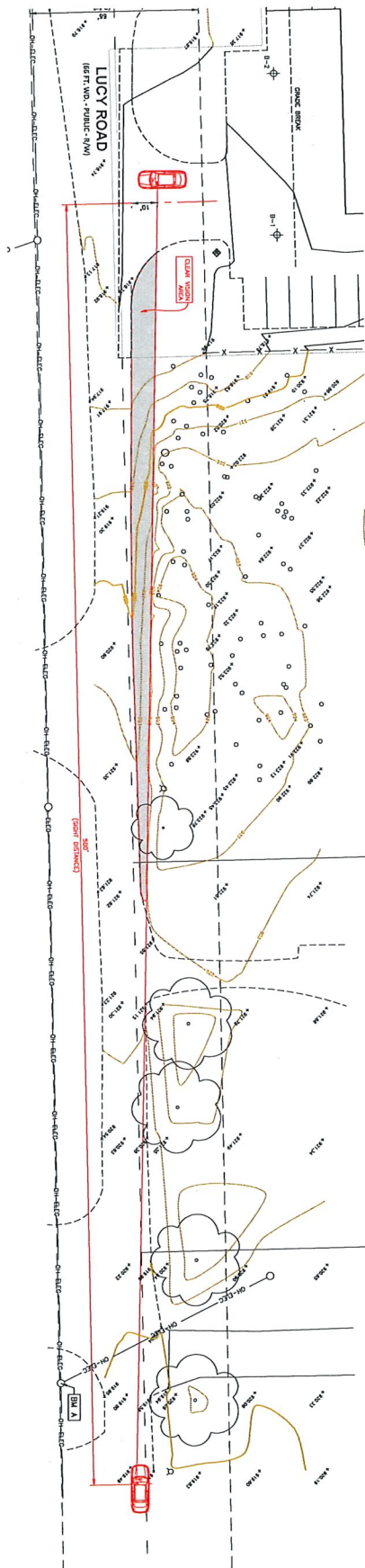
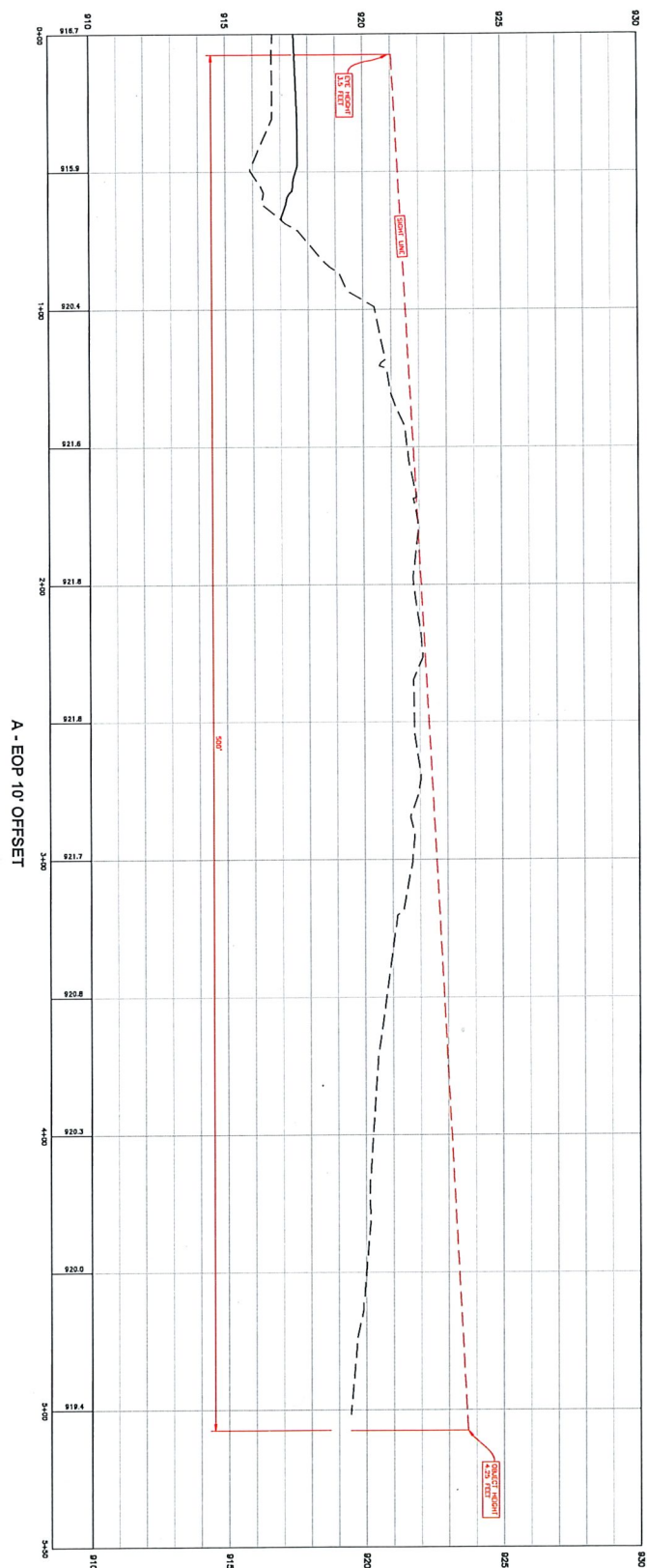
1388 LUCY ROAD
 PART OF SE 1/4 OF SEC. 1, T2N-R4E
 MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

SCALE: 1" = 20'
 0' 1/2" 1" 1 1/2" 2" 3" 4" 5" 6" 7" 8" 9" 10" 11" 12" 13" 14" 15" 16" 17" 18" 19" 20"

PROJECT: 2020-01-102
 DESIGNED: JRM/2020
 CHECKED: JRM/2020
 DATE: 2/24/2021

C-100

NOT FOR CONSTRUCTION



CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

[illegible]

1388 LUCY ROAD
SE 1/4 OF SEC. 1, T2N-R4E
SHIP, LMINGSTON COUNTY, MICHIGAN

NOT FOR CONSTRUCTION

Dave Hamann

From: Cheryl Range [REDACTED]
Sent: Saturday, April 17, 2021 6:04 PM
To: Larry Grunn; Dave Hamann; Jessica Timberlake; Jim Anderson; Bruce Powelson; Bob Hanvey
Subject: Newly done Master Plan

Hi All,

Larry and I were discussing some questions regarding the newest M. Plan on line. First, Jessica, your pictures are very nicely done and truly an enhancement of page layout. YAY, for what you did for us !!! Thank you from us!

We would like to see the return of the previous Plan pages that had the aerial map layouts of our development sites (pgs. 56 - 67 from the 2019 version) pictures of Turtle Creek, Crystal Wood, The Meadows etc..

Pg. 20 - The Ag Land first Paragraph / last sentence Map 6 is now Map 5 (due to previous changes / deletions.)

Last paragraph of Soils / 2nd to the last sentence Map 5 is now Map 4.

Pg. 23 - In the new M Plan is the Residential Development Map (Map #7 ... 2nd paragraph / last sentence still denotes Map #7 which is no longer on any pgs. It used to be the High Nitrates Map (previous M Plan handout on pg. 27.)

Pg. 26 - See Map 6 not Map 9.

Pg. 39 - The last paragraph contains the sentence regarding Woolly Bully being located at Lucy Rd. and National St. area instead of

being included in the following paragraph at D19 south of I 96 area. (pg. 40 - 1st paragraph.)

Pg. 76 - Last paragraph mentions Map # 13 ... It is now # 10.

Pg. 77 - Pg. 80 ... Same ... not 13 but, 10.

Pg. 81 - End of 1st paragraph Map # 14 (or # 11 ... Liv. Cnty. Comprehensive Plan)

Might there be somewhere we can mention our township not being inclusive to Tiny Houses since we've had the request for them brought up to our PC? Just to cover it in our M Plan (?) or are our designated residential building language of land parcels at (1 or 2 acres) along with the 1,200 sq. ft. minimum living space already clarifying this?

That's it, I think ... unless ... Larry, I forgot something (if so, sorry!!! )

Take care, stay safe and Thanx for reading this !!! Cheryl 'n Chairman Larry

Michigan awards \$1.8 million for purchase of development rights

By Kevin Walker
Michigan Correspondent

LANSING, Mich. - A state of Michigan farmland preservation fund board has awarded \$1.8 million to several local governments to help complete the purchase of development rights of farmland. Purchase of development rights programs provide a way to financially compensate willing landowners for not developing their land.

Although the program allowing the creation of permanent agricultural conservation easements has been in place since at least 2005, the program was not sufficiently funded for about 10 years, according to Elizabeth Brost, the conservation easement coordinator for the state's Farmland Preservation Program. However, starting in 2016 there was a new funding mechanism to help pay for such easements. "In 2016 we got sustainable funding," Brost said. "We should have the funding every year from now on for \$2 million plus."

For this cycle, 24 local programs were eligible to submit grant applications for funding from the state. According to Barry Lonik, a consultant for Webster Township and Scio Township, each located due west of Ann Arbor, Mich. - there were 12 applicants for funding and seven of those received grants. Grants can only be awarded to municipalities, not individuals or other entities.

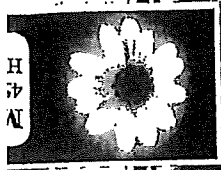
To qualify, a county or township must have zoning authority, be covered under a master plan that includes farmland preservation, passed a purchase of development rights ordinance

ment, Brost said.

Brost noted that any land in the Ann Arbor, Mich. area and the Traverse City area are quite expensive due to development pressure. According to Lonik, the Scio Township and Webster Township properties are receiving 26 percent of their required funding from the state program, 49 percent from the USDA conservation easement program as well as a portion from the respective township governments. "Webster Township has a millage for this purpose," Lonik stated. "Voters passed on three separate occasions by at least 60 percent. We've also been very thankful to tap into the state program money," Lonik added. He explained that without the state grant, the Scio Township project could not have happened.

"At \$3 million, it's the biggest project that we've ever taken on, but we're confident now that we can do it, thanks to the state award," Lonik said. "The state award was really key to doing this."

To learn more about the preservation fund board and the program, visit www.michigan.gov/farmland.



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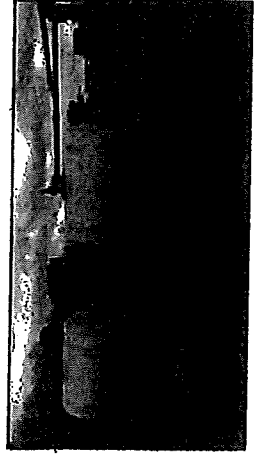
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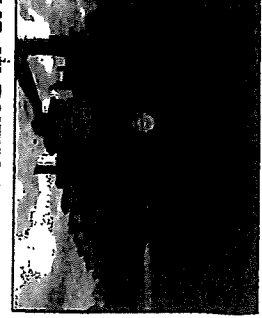
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ship. — each located due west of Agn Arbor, Mich. — there were 12 applicants for funding and seven of those received grants. Grants can only be awarded to municipalities, not individuals or other entities.

To qualify, a county or township must have zoning authority, be covered under a master plan that includes farmland preservation, passed a purchase of development rights ordinance and created a plan for monitoring conservation easements. Local programs are selected for state grants based on a scoring system adopted by the board, which focuses on quality agricultural parcels and program achievements.

The grantees included, Scio Township in Washtenaw County (\$825,000), Ottawa County (\$157,000), Kent County (\$201,294), Webster Township in Washtenaw County (\$200,000), Washtenaw County (\$244,800), Eaton County (\$46,725), and Barry County (\$130,000). Those farmland preservation programs will preserve 730 acres.

Farmer Mark Amsdill has sold development rights to his 120 acres of farmland in Webster Township, Mich. "It's what our parents would have wanted," Amsdill said. "My father was huge into farming. My father and mother passed, but it's what they both would have wanted. I feel great about this. I haven't heard anything negative about this program at all."

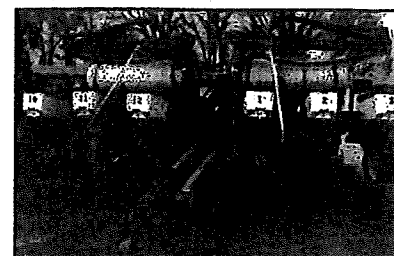
Amsdill said if he wants to he can still sell the land to another farmer, and he plans to do so at some point. He explained the purchase of development rights is the retail value of the land less the agricultural value of the property. As an example, he said if the retail value of the property is \$9,000 per acre, and the agricultural value \$3,000, then he would receive \$6,000 an acre for the development rights.

The fund will distribute \$1.8 million in grants covering up to 75 percent of the costs to purchase the development rights on the properties. In order to qualify for funding, the property must be an active farm. The state program also helps pay for some of the closing costs associated with the conservation easements. Local governments must come up with matching funds, however, a federal program at the USDA, called the Agricultural Conservation Easement Program, also awards grants for that purpose and money from that program can be used to satisfy the local matching require-

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