### MARION TOWNSHIP PLANNING COMMISSION AGENDA

### **REGULAR MEETING**

### Due to COVID-19 considerations and consistent with State Policy: The Township Planning Commission will meet in person April 27, 2021 at 7:30 pm

However, there will be virtual access
Instructions to participate in the meeting are posted on <a href="https://www.mariontownship.com">www.mariontownship.com</a>

PLEDGE OF ALLEGIANCE:  INTRODUCTION OF MEMBERS:  APPROVAL OF AGENDA FOR: April 27, 2021 Regular Meeting  APPROVAL OF MINUTES FROM: March 23, 2021 Regular Meeting  CALL TO THE PUBLIC:  PUBLIC HEARING:     none New BUSINESS:     1 Review SPR#02-20 Vern Brockway 1388 Lucy Road Industrial zoning FINAL Site Plan.  Old BUSINESS:     1) NONE	CALL TO ORDER:	
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	none New BUSINESS:	ay 1388 Lucy Road Industrial zoning FINAL Site Plan.

Correspondence and Updates and Discussion: Master Plan Discussion and next steps.

CALL TO THE PUBLIC:

ADJOURNMENT:

Approved by:	
	Larry Grunn, Chairperson

DRAFT

Date:	
Date.	

### MARION TOWNSHIP PLANNING COMMISSION IN-PERSON / VIRTUAL MEETING MINUTES MARCH 23, 2021 / 7:30PM

**MEMBERS PRESENT:** 

LARRY GRUNN - CHAIRPERSON (In-Person)

JAMES ANDERSON - VICE CHAIR (In-Person)

CHERYL RANGE – SECRETARY (In-Person)

**BOB HANVEY** – (In-Person)

BRUCE POWELSON - (In-Person)

**OTHERS PRESENT:** 

**DAVE HAMANN** – ZONING ADMINISTRATOR (In-Person)

JOHN ENOS - CARLISLE WORTMAN (In-Person)

ROB STANFORD - LIVINGSTON COUNTY DEPARTMENT OF PLANNING (Virtual)

MATT IKLE - LIVINGSTON COUNTY DEPARTMENT OF PLANNING (Virtual)

### **MEMBERS ABSENT:**

NONE

### **CALL TO ORDER:**

Larry Grunn called the meeting to order at 7:30 p.m.

### PLEDGE OF ALLEGIANCE

### APPROVAL OF MARCH 23, 2021 PLANNING COMMISSION MEETING AGENDA

Bruce Powelson made a motion to approve the Agenda for the March 23, 2021 Planning Commission meeting. Cheryl Range seconded. **MOTION CARRIED** 

### APPROVAL OF FEBRUARY 23, 2021 PLANNING COMMISSION MEETING MINUTES

Bruce Powelson made a motion to approve the February 23, 2021 Planning Commission Meeting Minutes, as amended. Jim Anderson seconded. **MOTION CARRIED** 

### **CALL TO THE PUBLIC:**

NONE

### **PUBLIC HEARING:**

NONE

### **NEW BUSINESS**

### 1) LIVINGSTON COUNTY PLANNING ANNUAL VISIT

Rob Stanford introduced himself. Rob is the Principal Planner for the Livingston County Department of Planning. Rob likes to do these meetings so the jurisdictions are up to date with things going on at the County and vice-versa. Rob explained that currently the Livingston County Department of Planning office is not open to the public but they are still regularly available for phone calls and emails.

The County Planning Department received a grant from SEMCOG for \$30,000 from their Planning Assistance program. This allowed the County to hire Greenway Collaborative Inc. to begin the first draft for the Livingston County Trail plan. In January 2020, they held a trail summit which allowed them to gather some public opinion. They have finished the 8–9-month process to develop a plan.

This plan is available on the County's website, www.livgov.com/parks.

Fillmore County Park in Genoa Township, on the corner of Kellogg and McClements road, is open to the public since September 2020. Currently working on an agreement with HAPRA and SAPRA for use of the sports field for their youth programs.

Currently our County Parks and Open Space Advisory Committee is working on an Urban Night-Sky Place Designation from the International Dark Sky Association. This is out in Deerfield Township.

The County has resurrected our Brown Bag Lunch series which is currently being held via Zoom. We had one on March 11 and there were some good discussions that took place. These lunches are being videotaped and available on the County's new YouTube channel.

Matt Ikle is a member of the Livingston County Department of Planning. Matt has learned how fortunate they are to have the staff they do at the County Planning Department. The recent Master Plan that was put together has won national awards and is one of the best Master Plans he has ever seen.

### **NEW BUSINESS**

### 2) RAY WARD PRE-APPLICATION FOR SHARED DRIVEWAY TO SPLIT PARCEL UNDER NEW DEVELOPMENT STANDARDS

Bruce Powelson asked if the parcels could be made a little bigger. Ray Ward said that it shouldn't be a problem. Dave Hamann explained that Ray will have to come back to a Planning Commission meeting for a private road inspection and further review.

Bob Hanvey asked Ray Ward if he had talked to our Assessor to confirm the number of splits available for this parcel. Ray Ward said that he has not talked to the Assessor yet but was confident that they had more splits available.

John Enos said that this is a decent plan and since Jesse Drive is not a busy road and it is not a public road, there should not be any issues with this. John Enos asked if Ray has a map of the wetlands.

Ray said that he does. John Enos asked for him to bring that for his private road inspection. John is comfortable with this split and recommends that Ray get with Dave about the private drive.

### **CORRESPONDENCE AND UPDATES:**

### MASTER PLAN UPDATE

John Enos explained that he met with Dave Hamann and Bruce Powelson about the Master Plan. They came up with some more changes and those changes have since been made. John brought updated Master Plan copies to be distributed to the Board of Trustees for review at their next meeting.

Les Andersen, 4500 Jewel Road, talked about a training that was put on by Catherine Mullhaupt with the MTA. She talked about how 98% of ZBA requests should be denied but with our ZBA Board, they actually approve about 90% of all ZBA requests.

When a person has a ZBA request, they are essentially asking for relief from the law. Their practical difficulty has to support their request for a variance and a practical difficulty can be anything that is unusual about the property. You should try to keep the financial aspect or cost of the property out of the equation.

Les Andersen asked how to prevent people from scanning the township looking for opportunities to purchase a property for an intended "Horse Farm" and later decide to start a landscaping business or auto repair shop. John

Enos said that your language is only as good as your enforcement. People are more willing to do things that are not necessarily allowed in certain areas when they know there is little to no enforcement within that township.

### **CALL TO THE PUBLIC:**

NONE

<u>ADJOURNMENT</u>: Larry Grunn made a motion to adjourn the meeting at 8:45pm. Jim Anderson seconded. **MOTION CARRIED** 



### Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET

SUITE 70

ANN ARBOR, MI 48104

734.662.2200 734.662.1935 FAX

### Site Plan Review For Marion Township, Michigan

**Applicant:** 

Vern Brockway

**Project Name:** 

1388 Lucy Road

Plan Date:

September 25, 2020

**Revision Date:** 

February 26, 2021

Location:

Lucy Road (Approximately .99 acres)

Zoning:

LI: Light Industrial

**Action Requested:** 

Site Plan Approval

**Required Information:** 

Noted in Review

### PROJECT AND SITE DESCRIPTION

The applicant, Vern Brockway is planning a major renovation to their site located at 1388 Lucy Road. Specifically, an approximately 1,354 square foot building will be removed and replaced with a larger 6,000 square foot repair shop and office building. Storage containers (Based on the latest aerial photo), mature trees, gravel parking and the existing poor condition building make up most of the site. As part of the project, access will be more clearly defined with a new drive on Lucy Road, stormwater basins will be constructed, and a drain field for septic service will installed. No building elevations, landscaping, screening, lighting or signage have been provided.

This latest revision does not significantly change the building and parking layout of the site. However, the location of the stormwater facilities and septic locations have switched places. We actually prefer this location as it allows a better natural greenbelt between the site and I-96.

1388 Lucy Rd

Figure 1 – Aerial Image of Site and Surroundings



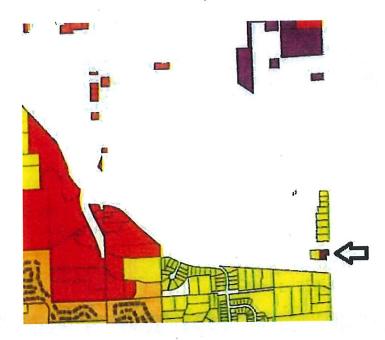
Items to be addressed: None.

### SURROUNDING ZONING AND LAND USE

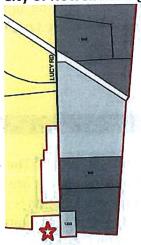
Table 1 – Surrounding Zoning and Land Use

Direction	Zoning	Use	
North	City of Howell - Residential	Wooded	
South	I-96 MDOT	Highway	
East	City of Howell - Industrial	Salvage Yard	
West	Residential	Home	

**Marion Township Zoning Map** 



City of Howell Zoning Map



Items to be addressed: None.

### AREA, WIDTH, HEIGHT, SETBACKS

The proposed use is a permitted use in the Light Industrial District. The applicant is proposing to dress up the site with a new repair shop, office and other improvements.

Table 2 – Required and Provided Dimensions of the Proposed Building

Required	Provided	Compliance
4 acres	.99 acres*	<b>✓</b>
330 feet	120 feet*	✓
100 feet	76 feet	Variance Granted
80 feet	54 feet	Variance Granted
80 feet	70 feet	Variance Granted
80 feet	49 feet	Variance Granted
40%	15%	<b>√</b>
40 feet	<40 feet	<b>√</b>
	4 acres 330 feet 100 feet 80 feet 80 feet 80 feet 40%	4 acres       .99 acres*         330 feet       120 feet*         100 feet       76 feet         80 feet       54 feet         80 feet       70 feet         80 feet       49 feet         40%       15%

We note that legally non-conforming uses and locations exist on the site, however all bulk regulation and landscape items have been granted variances by the ZBA.

**Items to be addressed:** The site was granted all required by the Zoning Ordinance by the Zoning Board of Appeals (ZBA) meeting on 1-4-21.

### NATURAL RESOURCES

Significant natural features are shown on the plan and the aerial photo indicates mature trees on the northern boundary. These are shown on the provided preliminary plan and they are proposed to be removed.

Items to be addressed: None.

### **PARKING AND LOADING**

A large gravel parking area exists on site and will remain. The plan indicates that the use for the new building will be repair and eight (8) parking spaces are proposed along with one (1) ADA accessible space located on concrete. A dumpster location is also shown in the northwest corner of the site. The dumpster will be enclosed. Based on the square footages of office and repair shop space we find this amount reasonable based on Ordinance requirements.

Items to be addressed: None.

### SITE ACCESS AND CIRCULATION

No sidewalks exist within the site, or along its perimeter. Due to the site's location and lack of "walkable" parcels within proximity, visitation is likely achieved using a vehicle and sidewalks are not necessary. A proposed new driveway has been reviewed and approved by the Livingston County Road Commission approval. The Fire Department should review access to the proposed new building along with their ability to fight a fire on site. Truck turning templates have been provided on the plan indicating the ability of a large truck to circulate on site.

Items to be addressed: Fire Department review and approval.

### LANDSCAPING AND SCREENING

No landscaping plan is provided. The plan indicates that landscaping will consist of grass, ground cover and mulch. This should be provided and includes and not limited to screening of adjacent uses. The applicant should review Section 6.13 of the Ordinance for direction on required landscaping. The Planning Commission may wish to consider waiving or modifying landscape requirements for this site due to the location and adjacent land uses. We are of the opinion the applicant is significantly improving the site and significant landscaping is not necessary due to the location and area. The proposed stormwater basins will be natural vegetative covers.

Items to be addressed: Clarify whether any landscaping will be installed besides grass.

### **ESSENTIAL FACILITIES AND SERVICES**

A well is shown just south of the driveway access. A septic tank and drain field are also shown on the plan and will be located behind the building. Livingston County Environmental Health has reviewed and approved the location of the well and septic system. The Livingston County Drain Commissioner will be required to review and approve the stormwater system. Retention/Sedimentation basins are proposed on the south side. The Township Engineer will do a detailed review of infrastructure during the final site plan review phase.

**Items to be addressed:** Livingston County Drain Commission review and approval of stormwater system.

### LIGHTING

The applicant should indicate any existing or proposed lighting within the site. Any proposed lighting can be provided during final site plan review.

**Items to be addressed:** Provide at final site plan review information regarding existing or proposed lighting.

### **RECOMMENDATIONS**

We would recommend approval of the preliminary site plan as submitted conditional upon the following issues being addressed at Final Site Plan. We look forward to clean up and improvement of the site.

- 1. Provide at final site plan review information such as lighting, building elevations and landscaping.
- 2. Township Engineer review and approval of all proposed infrastructure.
- 3. Clarify whether any landscaping will be installed besides grass.
- 4. Livingston County Drain Commission review and approval of stormwater system.
- 5. Fire Department review and approval.

### **Livingston County Road Commission**

3535 Grand Oaks Drive • Howell, Michigan 48843-8575 Telephone: (517) 546-4250 • Facsimile: (517) 546-9628 Internet Address: www.livingstonroads.org

March 4, 2021

Al Pruss, P.E. Monument Engineering Group Associates, Inc. 298 Veterans Drive Fowlerville, MI 48836

Re: 1388 Lucy Road, Marion Township, Section 1 LCRC# C-20-10

Dear Mr. Pruss:

I have completed the review of the revised plans for a commercial driveway approach off Lucy Road for a repair shop, dated February 26, 2021, for the above-referenced project and have determined the plans to be in substantial compliance with our specifications.

Before a commercial approach permit can be issued, the following items need to be completed.

- A contractor needs to be selected and the selected contractor must submit a
  certificate of insurance to the LCRC with the following language: "The Board of
  Livingston County Road Commissioners, the Livingston County Road
  Commission, and their officers, agents, and employees are listed additional
  insured parties with respects to General Liability."
- 2. Written approval from the adjacent property owner(s) needs to be submitted for the removal of any obstructions located within the clear vision area.
- 3. Two (2) sets of the approved plans need to be submitted.
- 4. The additional permit fees (\$60.00) need to be paid.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Kim Hiller, P.E.

Kum Hiller

Utilities and Permits Engineer

Cc: File

Dave Hamann, Marion Township (via email)

Phil Westmorland, Rowe (via email)

Ken Recker, Livingston County Drain Commissioner's Office (via email)



April 7, 2021

Allan W. Pruss Monument Engineering Group Associates, Inc 298 Veterans Drive Fowlerville, MI 48836

RE:

1382 Lucy Road

Construction Plan Review

Dear Mr. Hamann,

We have received and reviewed the Construction Plan for the development of 1382 Lucy Road. The plans were prepared by Monument Engineering Group Associates on behalf of Vern Brockway and last revised on January 14, 2021. We offer the following comments:

1. The proposed septic system should specify a length, size, and type of the pipe.

2. The size and type of pipe, connecting the well to the building, should be specified.

3. The "Emergency Overflow Spillway" leader, on sheet C-7.0, should be moved so that it points at the correct location.

Kein & hills

mailto: kevinw@spicergroup.com

Kevin J Wilks, P.E.

Phone: (248) 846-3470

Cell: (616) 550-7837

Project Manager

If you have any questions or need anything further, please feel free to contact out office.

Sincerely,

Brian Han

Design Engineer

Phone: (708) 846-3470 Cell: (708) 846-3470

Mailto: brian.han@spicergroup.com

**SPICER GROUP, INC.** 125 Helle Dr, Suite 2

Dundee, MI 48131

CC:

SGI File

Dave Hamann, Zoning Administrator

Al Pruss



April 12, 2021

Allan W. Pruss Monument Engineering Group Associates, Inc 298 Veterans Drive Fowlerville, MI 48836

RE:

1382 Lucy Road

Final Completion Notification

Mr. Pruss,

We have reviewed the Construction Plans for 1382 Lucy Road in Marion Township, MI., dated 4/07/2021. Based on our review, we feel that these plans are in conformance with applicable standards and requirements. Please consider the following next steps:

- 1. The Township may require an escrow be created to cover the cost of inspection.
- 2. A pre-construction meeting should be held prior to start of any construction activity.
- 3. The selected contractor should submit an insurance certificate listing Marion Township and Spicer Group, Inc. as additional insured.

If you have any questions or require anything further, please contact Kevin Wilks at the phone number listed below.

Sincerely,

Brian Han

Design Engineer Cell: (708) 846-3470

Mailto: brian.han@spicergroup.com

Kevin J Wilks, P.E.

Project Manager Cell: (616) 550-7837

mailto: kevinw@spicergroup.com

Kein & hills

SPICER GROUP, INC.

125 Helle Dr, Suite 2 Dundee, MI 48131

CC:

SGI File

Dave Hamann, Zoning Administrator

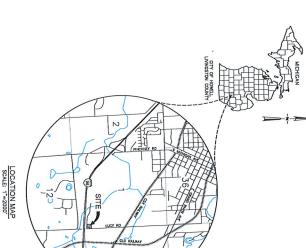




# SITE PLAN DRAWINGS FOR

## 1388

### CITY OF HOWELL LOCATION MAP SCALE: 1"=2000" თ



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PARCEL TAX NUMBER: 4710-01-400-009

(PER WARRANTY DEED AS RECORDED IN DOC. #2006R-015988, LIVINGSTON COUNTY RECORDS)

EGAL DESCRIPTION (AS PROVIDED)

CLIENT

DESIGN ENGINEER/SURVEYOR

MONUMENT ENGINEERING GROUP ASSOCIATES, INC

298 VETERANS DRIVE, FOWLERVILLE, MI 48836 ALLAN W PRUSS, PE, PS PHONE: 517-223-3512 INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

> 6523 OAK GROVE ROAD HOWELL, MI 48855 VERN BROCKWAY



THE OWNER, VERN BROCKWAY INTENDS TO OPERATE A REPAIR SHOP WITH OFFICE BUILDING AT THIS STIEL, PRODOSED STE MARDOVERENTS INCLUDE A 6,000 SF BUILDING WITH CONCRETE APROM. STIRED PARKING SACKES, GRAVEL PARKING LOT, STORM WATER MANAGEMENT SYSTEM, WELL, AND SEPTIC DISPOSAL FIELD.

THE STITE IS LOCATED AT THE EARD OF LICTY ROAD, ON THE RODGER OF BOTH CITY OF HOWELL AND OCCUA. TOWNSHIP LICTY ROAD IS A, DEADN GRAWER ADONE PREPRODICALLY AND INTENSTITE EN LICENS, DEPENDENCIAL AND DEPENDENCIAL HOW DITENSTITE EN LICENS, DEFENDENCIAL PROMOTE BUILDINGS ETBACKS AND WISSEL EN BOARDER AND WELTE BUILDINGS ETBACKS AND WISSEL ROAD BUILDINGS ETBACKS AND MISCELANEDUS TORAGE.

PROPOSED LAND USE NARRATIVE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
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MICHIGANSTONA (EET, GROUND
(JAT: 42"35'12.42", LON: 83"54'43.32", ELEV: 919', SCALE FACTOR: 1.0001235'1).

BEARING REFERENCE

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COVER 1388 LUCY ROAD PART OF SE 1/4 OF SEC. 1, T2N-R4E ARION TOWNSHIP, LIMINGSTON COUNTY, MICHIGAN

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SHEET C-10.0 SIGHT DISTANCE PLAN (EDP 10' OFFSCT)
SHEET: G-10.1 SIGHT DISTANCE PLAN (EDP 10' OFFSCT)
SPECIFICATIONS



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Sector 1-12 DECEMBRIC SENTER (SECTOR)

SECTO 1-12 DECEMBRIC SENTER (SECTOR)

SECTOR 1-12 DECEMBRI

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8523 DAK GROVE ROAD



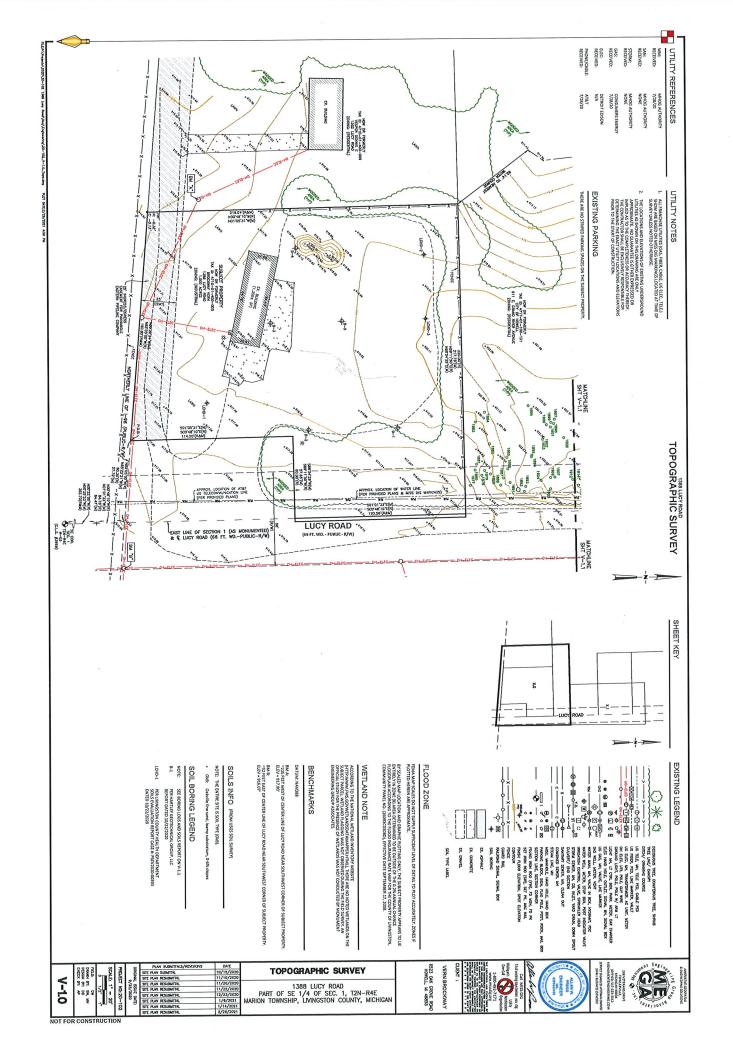


SHEET INDEX

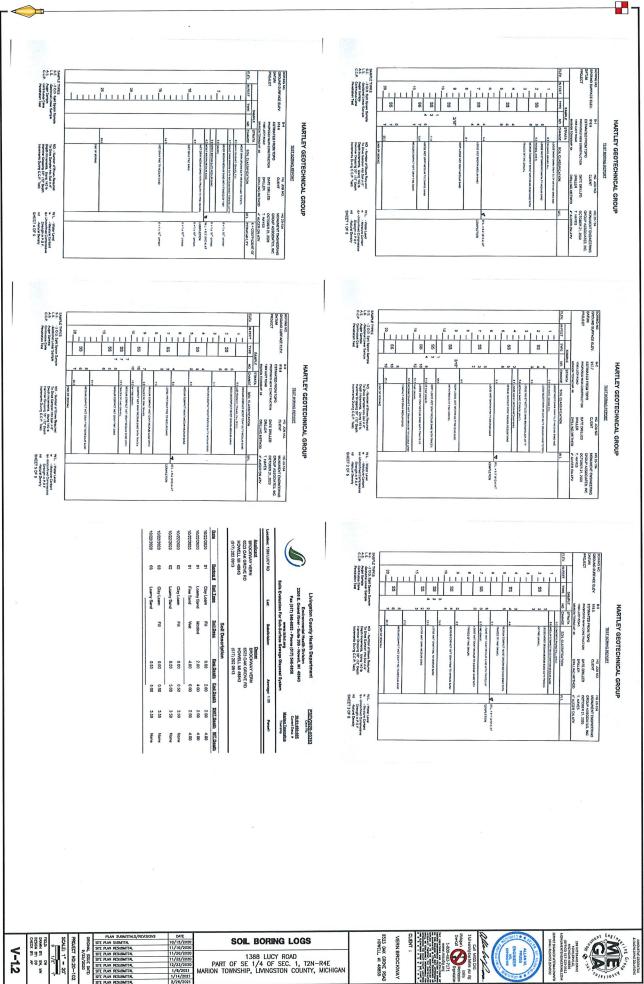


PLAN SUBMITTALS

G-1.0

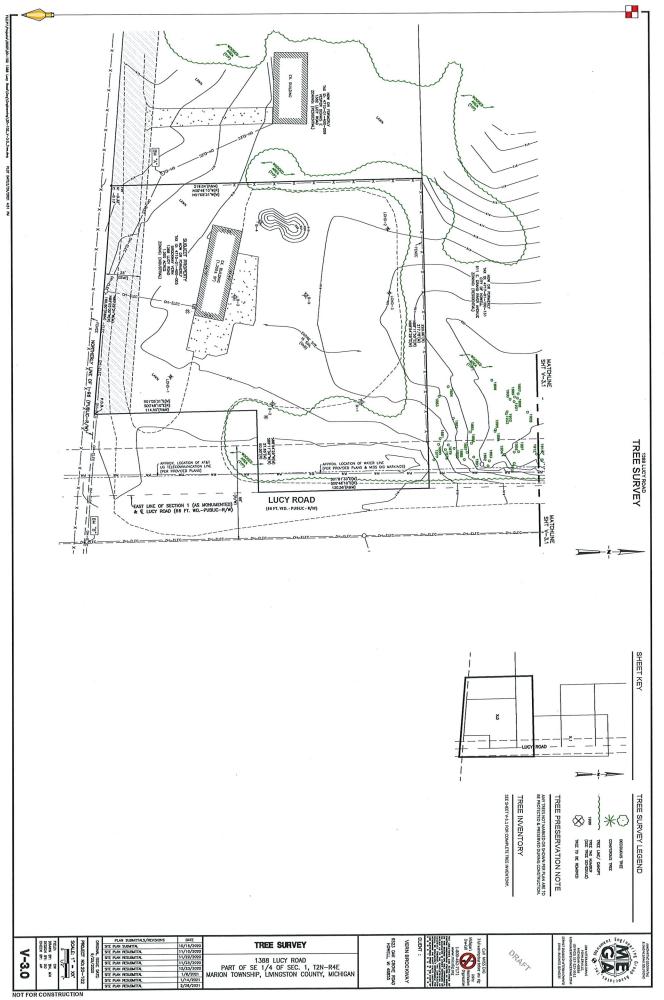


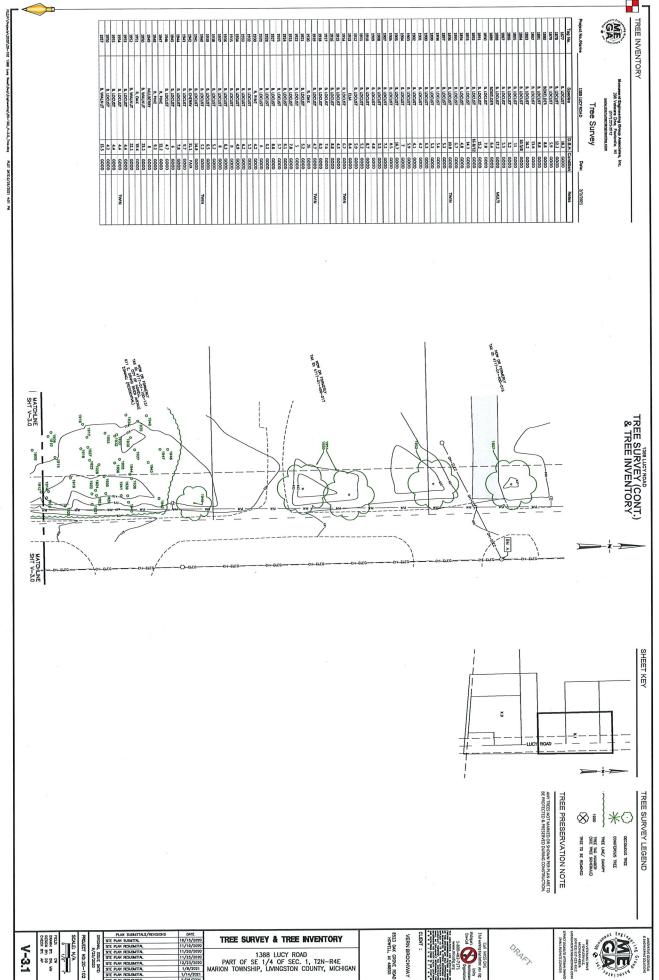


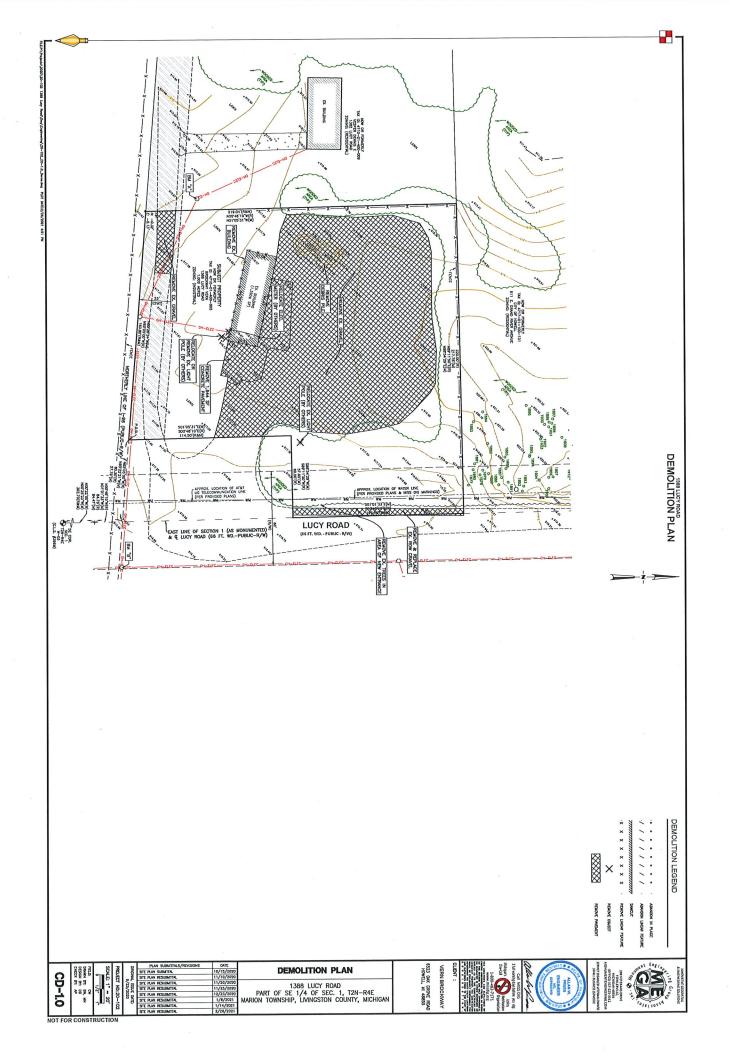


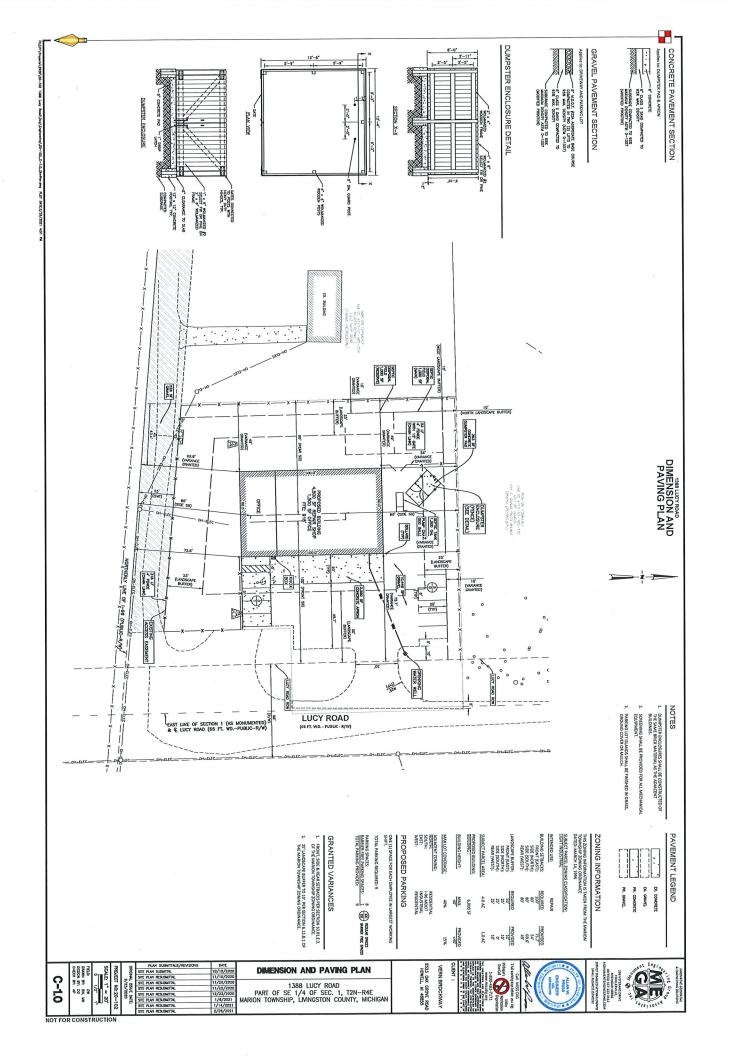
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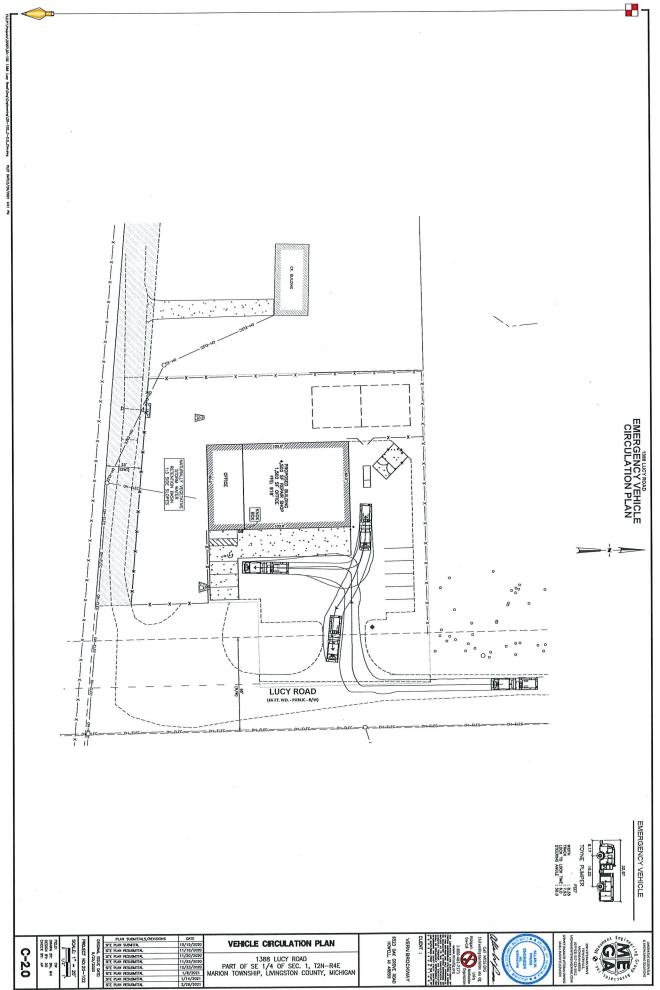




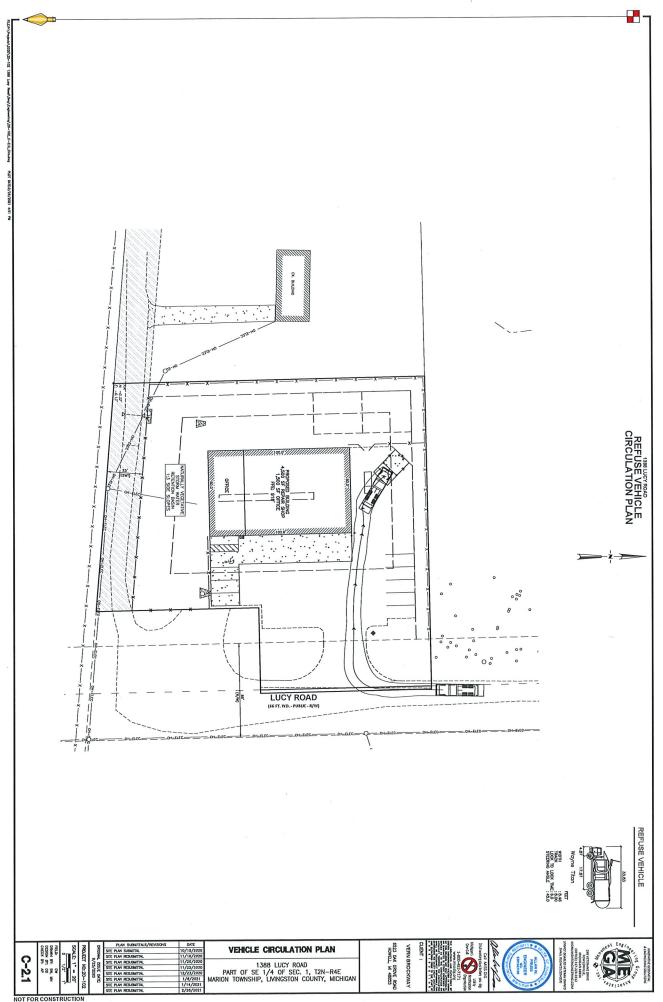


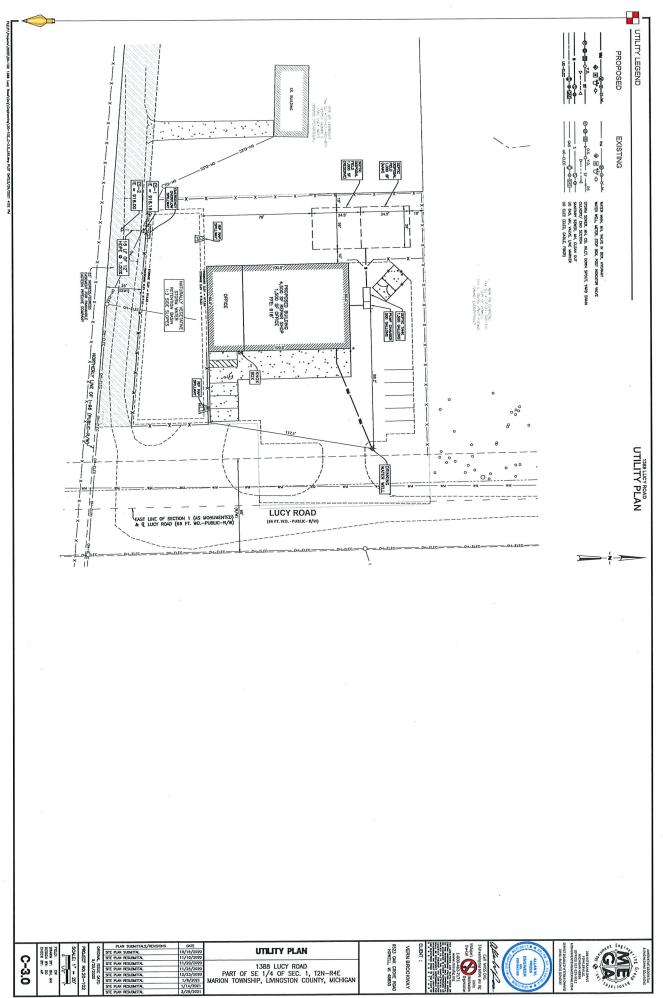


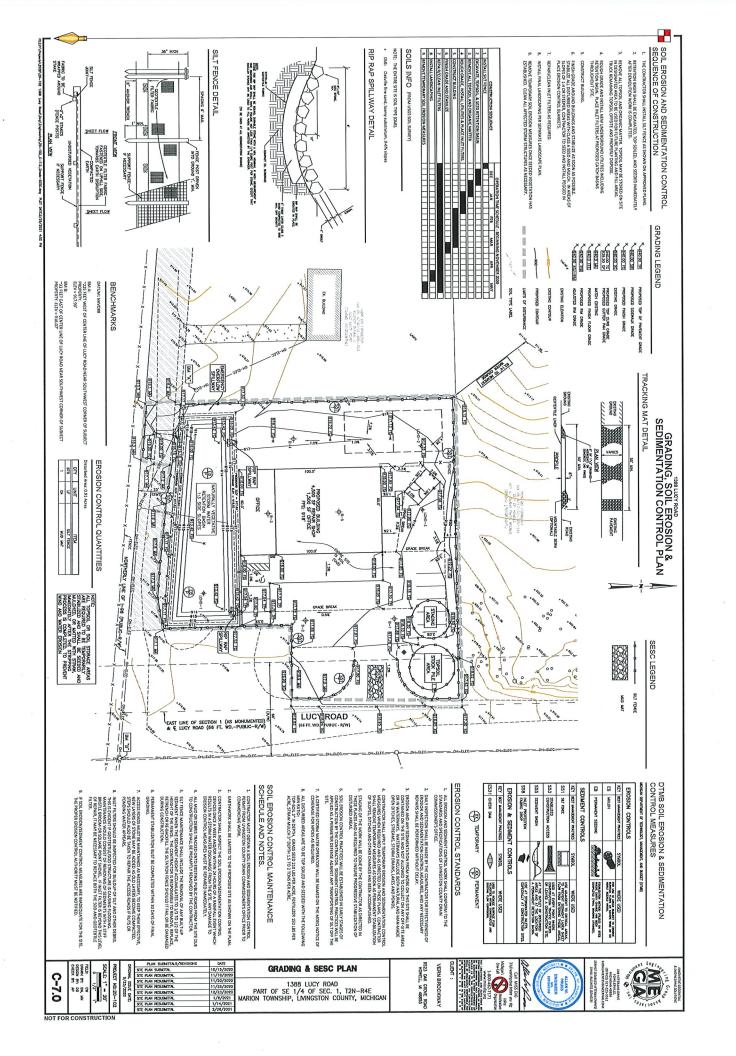


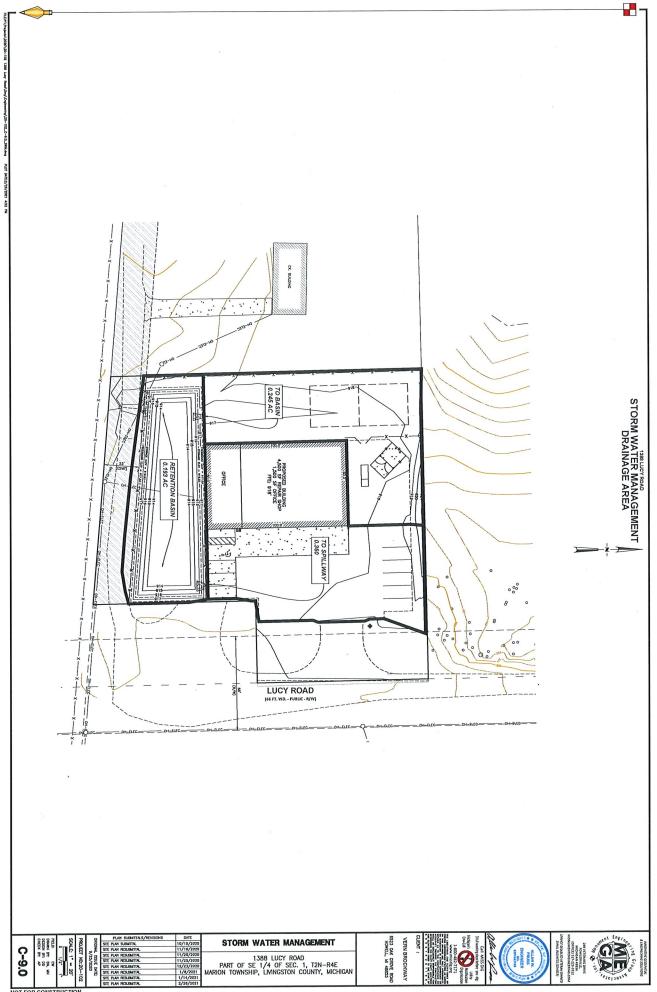


NOT FOR CONSTRUCTION









RETENTION BASIN CALCULATIONS PROPOSED RETENTION BASIN VOLUME
ELEVATION AREA (FT)

(FT) REQ RETENTION ELEVATION (27et)
1' FREEBOARD ELEVATION (27b) COMPOUND C = CONTRIBUTING AREA (CF) (CF) 916.00 16,966 34,783 9,853 Zret = 916.53\* 916.53 12,853 ft<sup>3</sup> 1,660 5,260 18,573 Zfb = 917.53" 0.798 AC 0.49 VOLUME 1 V<sub>2100</sub> T/M 9,853 15,511 12,853 EMERGENCY OVERFLOW SPILLWAY DETAIL RETENTION BASIN PLAN & PROFILE RETENTION BASIN STORM STORAGE: 918.53" CLEVATION 912.42" 915 910 LEGEND \ } | EX GROUND-PROPOSED GROUND PR GROUND

STORM WATER MANAGEMENT RETENTION BASIN DETAILS

C-9.2

STORM WATER MANAGEMENT 1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LMNGSTON COUNTY, MICHIGAN 6523 OAK GROVE ROAD HOWELL MI 48855

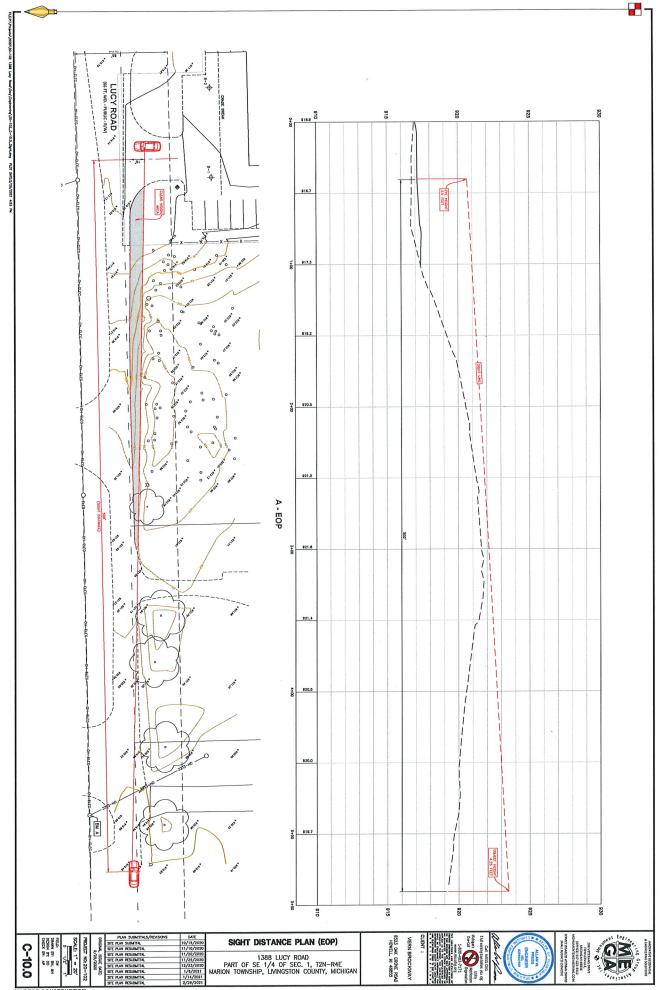


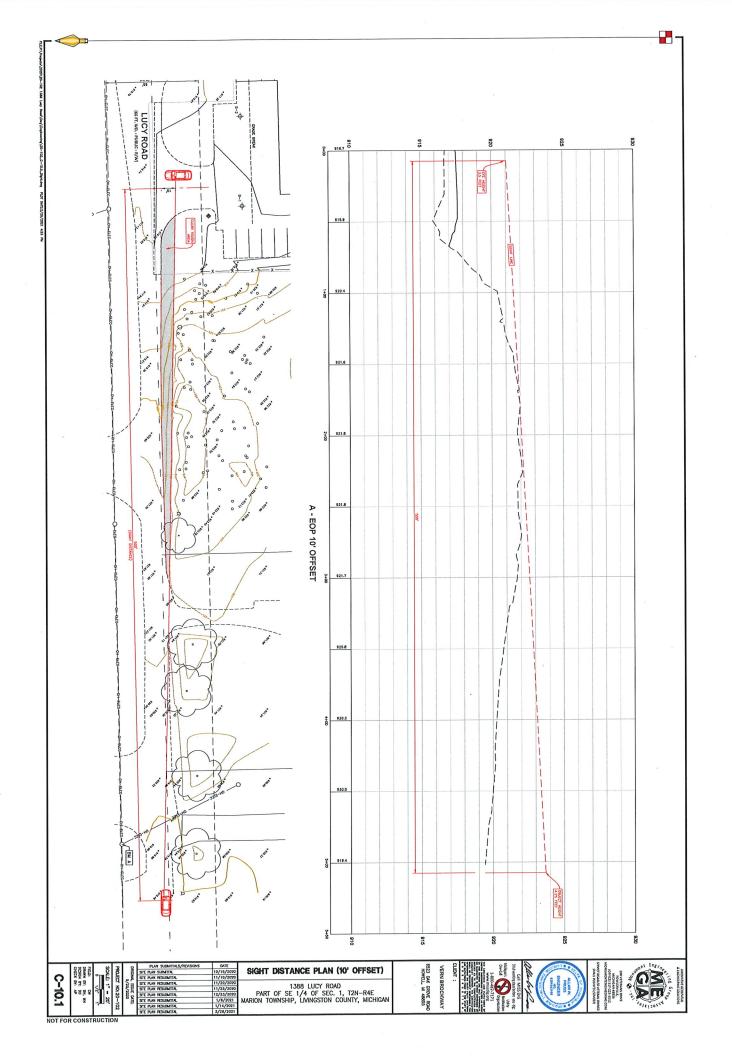












### GENERAL NOTES

- ALL COMMISSION AND MATERIAL SHALL BE N ACCOMMENT WITH THE CLARKS SHAPPING AND COMMISSION AND COM RALES, RECOLATIONS OF LAWS OF MAY CONTROLLING CONTROLLING. ACCION THAT THE RECORDING WHICH THEY ARE MOSE STRANGET THAN THE RECIPIEDING OF THESE SPECIFICATIONS.
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- ANY WORK WITHIN STREET OR HONINAY ROOT-OY-WAYS SHALL BE DONE IN ACCORDANCE WITH THE RECLIRECTIONS OF THE CONTRANSITIE, ACCOUNT ALMOSTICS, WANTED THE CONTRANSITIES, ACCOUNT AND THE POINTS HAVE DONE ESSEND BY THESE CONTRANS AUTHORITIES.
- AT TIME OF WORK HOT SPECIFICALLY NECKTION AS ANY TIMES ON THE DRAWNESS OF AN THE EN PHYSICAL THE CONSTRUCT SHALL BE REPORTED. FOR BLIST CONTROL DURING THE THE CONTRIVENCE SHALL BE REPORTED. FOR BLIST CONTROL DURING THE PROCESS OF CONTRIVENCE. MINICIPALITY UNITED OFFICIALS OF BOOKHWARD PROVIDED BY THE LOCAL ALL DEVINENCE PROVIDED BY THE LOCAL A WIT PERMITS, BONDS, INSURANCES, ETC., SHALL BE PAID FOR BY THE
- MANDE, OND BORN, OFTE WILL RAID AND HYDRANT FINDS CHAPE ELEVATION HAVE CONTRACTOR'S CONTRACTOR'S CONTRACTOR'S CONTRACTOR'S CONTRACTOR'S CONTRACTOR'S CONTRACTOR CONTR AL MONDAME ON LIVER IN THE DANIER OF MONTH ON CONTINUENT OF LIVER DANIER OF MONTHS ON THE CONTINUENT OF LIVER DANIER OF THE CONTINUENT OF MONTHS ON THE CONTINUENT OF THE CONT AT LEVET THREE (3) MORROWS DAYS PROPR TO JAY DICHAMITON, THE COMPILATION SHALL CONFIGURE HER BOD (1-800-445-717) TO MORRY THE LICATION OF JAY. DICHAMITON, THE MORROW OF THE MORR. OR SWILL ROMOTE AND DESPOSE OF OFF-SETE ANY TRICKS, BRUSH, CAD BLACKS, DAVING DESPOSE, AT THE OWNERS DIRECTION, STANKING OR BLACKS DAVING DESPOSE OF OFF-SETE ANY TRICKS, BRUSH, GILL SWILL ROMOTE WILL NOT DE ALLOWED.
- SIDEN SCHOL PANG YAO LILINGS SYNT DE DE LOCUMES AND LILE PORTONIS.
- RESERVE CHACL CONCINENT TO YEAR OF 12, N DYMILLS YOU IN SHITLE WOULD CONCINE HOUSE WOUND DAY'S MINISTER WOULD BY HE SHALL CONCINENT TO YEAR AND THE WOULD CONCINENT TO YEAR OF 15, N DYMILLS YOU IN SHALL CONCINENT TO YEAR OF 15, N DY YEAR OF 15, N D

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TOSE AND DECRETORS SHOWN ON THE PLANS FOR DESTINATION FOR PLANS FO

POICYLED ON THE ENVIRORS WE SHATT BE CONSTITUTED OF THE LETTENMON POPONIO SUBJENCE DIAN PPE SALL EE PRE CONTORNIO TO ATIA ID-222 OR PEPENITIL, CORRIANTO HON DOCUMP PALITIMON PPE CONTORNIO TO AUSTRO 19-2944. ADRIE THE PRE AUS PALITIMILIOE PPE SALL EE PREVARRONIO COMPANI WITH SOLVENT SELD. RENTINCED PRE-CUST CONCRETE MANGLE SECTIONS INCLUDING CONCENTRIC CONCRET AND GRADE RINGS SHALL DE 4000 PSI CONCRETE AND CONTRETE AND CO

INC. CAMEN, MANY PARTY AND ANY TREE AT SECRET OF AND DOCUMEN TO PROVIDE ON-THE PARTY AND ANY AND THE AND ANY AND ANY AND CONCERT, CAME AND ANTITY ANY EXCEPT AND ANY AND CONCERT, CAME AND ANY CONTROL ANY CONTROL AND ANY CONTROL ANY

- BRICK BUTHLILL WAD SAMT DE IN VOCKBOWICE MLIN VYRHLO IN BI'S CHACK BYTH THE BOTHO'S HATT DE BUTHLING LINES THEOLOGICAL WAS ON THE BOTHO'S HE'S BUTHLING THE BUTHLING HE'S CONDICTE MASSIVEY SHALL BE SOLID PRE-CAST SECREDITAL UNITS CONSTITUTED TO ASTA C-130.
- LOWING BATT BE RWILVELINED BY CYLL TOWN MON MONEY NOT MEDI-WE LAWEL KIRTE SE PRIODATU. BUMORQU LEI VLIME BENGU THE BUNDER SE PRIODATE SE CONCRETE AND MASONRY NATIONALS FOR CONSTRUCTION OF STORM DRAINAGE STRUCTURES SHALL CONSIST OF THE FOLLOWING:

THE CONTRACTOR SHALL RESTORE TO THER PRESSY! CONTRIONS ANY PARADON OR PAULO. RESTORATOR ANY THAT IS CONTRIBED BY THE OPENATIONS OF THE CONTRACTOR. ALL RESTORATORS WERE IN PAULO. RESTORATOR AND RESTORATION OF THE CONCRIBENT ADDICES HANNED ARRESTORAL.

NIED MATEUM, REJONED FROM THE SMITTANT SENDE, STORM SENDE IT LAMI TREODES UNION, THEOLOGY AND STIRM OF THE ASS IN LONG LINE OF SUSTRIED OR HOUSEDED PARKED SENDEM, SANCE LONG NOT SUSTRIEL FOR BACKSTL, SWALL BE REJONED FROM TREOD I DESCRIED OF.

- and const morthly birt be cital birds bird cash constant for constant for constant for constant sail be set with c-symptomens to value  $c_{\rm cons}$ PORTLAND CONDIT SHALL BE STANDARD BRAND OF PORTLAND CONDITION TO ASTAIL DE-100, TITSE I OR IX.
- CHORETE, UNLESS OTHERWISE HOTEL, SHALL HAVE COMPRESSIVE STRENGTH AFTER 20 DAYS OF 3000 PSI HERBILM WITH 3" MARSHIN SLEAP.

  A. CONCRETE FALL BELOW GRADE MAY BE 2500 PSI AT 20 DAYS. HORATE LIKE SHALL COMEY WIN ASM 0-207, TYPE S.
  WHITH SHALL FOR CONCRETE SHALL BY INTERNAL SHALL FIND SHALL S

CONTRACTOR SHALL PROVICE FOR THE CONTRACALS OPERATION OF DISTING FACILITIES WHICH PROVIDE PROVIDED CONSTRUCTION UNLESS SPECIFICALLY AUTHORIZED GHICKNESS BY THE RESPECTIVE AUTHORITY.

IT SALL DE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TOAPCHARY WAITER SERVICE, SANITARY FACULTIES AND ELECTRICITY.

SULLY, ANTITY RECORDERATE — ILL. SORE, MORE PRACTICE, AND INTERPLATE
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AND CORNERS OF THE CONTROLLED AND CONTR TACTOR SHALL PROVOC ALL RECESSARY BURROLDES, SONUE AND 3 PROTECT THE WORK AND SAFELY MARTINA TRAFFIC, IN ACCORDINGE AL RECURROLDES AND THE MANUAL OF UNFORM TRAFFIC CONTROL "ARTEST EXTROM").

ה-פיל ה-מינה-ופיג כסאטובענ פארד נסאנספין גם ואיב אנסיאנסימאנום טג יפוויו

**EROSION CONTROL STANDARDS** 

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JAME POMI-MI-RILE PRE COMPRICION ACTIVITES", IN PRES JAMES ACT SAL PRIME ACT OF THE ME COMPRISON OF THE CONTROL DECEMBER AT THE COMPRISON AND POSTUPINO OF THE CONTROL LIFEWED AT THE COMPRISON AND POSTUPINO OF THE CONTROL LIFEWED AT THE COMPRISON AND POSTUPINO OF THE COMPRISON OF THE COMPRIS

- MOTIVE SALL IN SECURIO RESEAUTE, LEE KOTIGO OF MORO MOTIVE AT ORI SALLA SALLA INFORMACIONI O MOTIVE MOTIVE DA ME CONTRALLO MO ACCUANTLY MOTIVACIO DARRO MORO PRODESS. MOTIVE SALL HOT IR MODILI DOCATED CAMPIED THA RECURSID DES MACRICA CIEL, WITH MODIT OF WAITE CONSISTENT WITH SALTS ACCIDENT MOROMALITY. RE-/MAPTIRES OF WAITER IS NOT DESCRIPTION. MONTAL FOR LANNO BRICK OR CONDECT MASONIY UNITS SMLL CONTROL TO ASTA 0-270, THPE M, AMBRADE COMPRESSIVE STRONGIH 2000 PS MANUM AT 25 DAYS. MORTAN MIX SMLL DE PROPORTIONED DY VOLUME
- POPORA ALL DICAVATING AND TRENCHING TO DIMENSIONS AND ELEVATIONS NOICATED ON DRAWNOSS. MOTIVE FOR GROUTING OF RE-FLAP SHALL CONSIST OF 1 PART PORTLAND COMPUT AND 3-1/2 PARTS SAND. MORTAR FOR PLATIDING SMLL CONSST OF 1 PART PORTLAND COLDITIONS 2-1/2 PARTS SMG.

DALY MERTINDE SHAL IR, MAR IF CONTRACTIVE WHAT MORNED TO CITIOMEN THE DISTRICTURE OF CONTRACTION OF THE MEMBERS. CONTRACTION OF THE PROPERTY MANAGEMENT OF THE ACTUAL OF CONTRACTION OF THE PROPERTY MANAGEMENT CONTRACTION OF THE PROPERTY CONT

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## EROSION CONTROL STANDARDS CONTINUED

- STAIN THE WORK WILL BE DONE BY THE CONTRACTOR AS DRECTED IN THESE PANS AND AS REQUIRED TO DRUME PRODUCESIVE STABLEATED OF DETURBED LABOR.
- DUST SHALL DE CONTROLLED DY WATERNO OR DY OTHER APPROVED MEANS THROUGHOUT ALL CONSTRUCTION OPERATIONS. SCE, DROSON CONTROL, PRACTICES WILL BE CETABLESHED IN CARLY STACES OF CONSTRUCTION BY THE CONTRACTOR, SEDWART CONTROL, PRACTICES WILL BE APPLIED AS A PERMICIEN DEPOSE ADMIST ARY TRANSPORTING OF SET OFF SITE.
- NUMBER PROJ DENITORIO DE SUPILIZ POLITICA PRO DE PROPINCION RECURRATO DE SUPERE SUCH ELEMENT CONTRANATOR DE POPU-RECURRATO DE SUPERE SUCH ELEMENT CONTRANATOR DE POPU-PIQUEZE PROR TO ANY DENITORIO DE LAND DESTUBLIANCE.

### STORM SEWER SPECIFICATIONS

- PROPER INFLUENTIL TOCUS AND FACILITIES SHALL BE PROHODIANO HERD FOI NELJOUGH AND DETIREUTHO MATERIALS ALDHO THE LHE OF MORE, ANY PRE OR PITTING DAMAGOD IN TRAMSPORTATION OF INMICHIO SHALL BE RECEITED A MAEDIATELY REJOYDD FROM THE 408 STE. THE STATIONS SHALL BE FOLLOWED. WITH THE CONSTRUCTIONS AND THE SPECIFICATIONS AND THE SPECIFICATIONS AND DETAIL SHEETS OF THE CONSTRUCTIONS SHEETS OF THE CONSTRUCTION SPECIFICATIONS. THE OMINATION SHALL PURKEN COLLEGE UND LACE LINE WAS BEEN VICTORIA HAVE BEEN FEBRURATE WITH THE PRODUCT HAS BEEN ANNUAL THE PROPULATION OF THE PROPULATI
- PRE RECORDING, UNICESS OTHERWISE NOTICATED, SHALL RE CL. I SAME, CRUISHED STONE OR RECARDED GRAVAL. RECEDENCY MATURIAL SHALL HAVE SEX PASSING J. STONE AND AT LEAST SEX RETAINED ON A NO. 4 SECNE. PORQUE RILTR MITTOM, FOR PERFORATIO SUBSERVAE DAVIES SVILL DE CRUSHOU PROOK DEI GRANDI DETREZH 1-1/2" AND 3/4" DE PER PLANI AND DETALS. MECHALIONE ID MENOLI DYMYCE ID MYLDIAMY EGYMNDL WO MOSIC MYLDIAT MLDOOD LOS IJE MOSIC YE BYAT LYKE YTT MECHANAL IJE CONLINCIAN BYAT BE BEROOGSTE LOS IJE SYLE SLOSYOU OL YTT
- BYOALT INTER GUINELMEN HOLD" SHAFT BE COMBE RING LIKE CHING WENT INVESTIGATE, MODELLE WAS THE ACTUAL LIMETOR Y 37,5,5 SEVE WHICH WANNEY Y TOM MYTHOLE MODELLE WAS THE CHING. WENT OF SHAFT IN CONTRACT PRICE RING. SHAFT IN CONTRACT WAS A TOWN THE CHING. SHAFT BE CONTRACT WAS AND THE CHING. REYMENT, DELERGE (PICE) AND ADMILLERING BIFLODIE STREEME (AST PICE PPEC UP TO AND INCLUDING IT PIC NUMBERS SHALL CONTROL TO ATHA LOCATION OF THE AND ASTIN, DETAIL TORK AND PIC AND ALTONICIDES AND ADMILLERING TO ASTIN ADMILLORS OF THE CRIDICALLY MALDON IPPEC, LOWER CONFERENCE TO ASTIN FORM.

- BODE BLOTILHO ARONO DAVINUE STRUTIRES AL FORIS, TRUSI AND CORRES SALL DE RECIONO AND CLUSION NAVY. SILITIDO DICIVINIDO MODERNA SALL SALLOS DE RECIONOS ANOMORPOLLY DE ALS JOSES DE SALVADADA (LATORS CLOS LUTRES BALL DE MODERNO AND CORPACTID WITH MEDIANO DE NATO TARROS DE NATO MODERNO DE NATO DE
- RUNCIDAET MIN JAC LOTT NODE DYNCIIS, KORT MIN BOLLING BLINCIDAET IN HON GATE, PAC BANT TE BLINCHE, DELIKON VIIIS NEUTYTJON OL BAGS WID DAWNYCE BLINCIDAET GTYN JADY WO VIIIS NEUTYTJON OL BAGS WID DAWNYCE BLINCIDAET GTYN JADY RE-UM SHALL RELACE STOKE TO BE COCODE. CLEM ANTE RELACED BY MADE SHALL RELACED BY COCODE. CLEM SHALL RELACED BY COCODE. COCODE SHALL RELACED BY COCODE. WHI NELL-PROCED BY COCODE. MORRES SHALL RELACED BY COCODE. MORRES SHALL RELACED BY COCODE. SALL DE ENDOVADE FOR DECIDOR FOR PRODUCTIONS ORATING ROUS OF FELDRALL HAD ROUS ALL MEDICIDORS. ORATING ROUS SALL DE ENDOVADE FOR ACCESS AND CLEARING.

  SALL DE PAUDO FOR ACCESS AND CLEARING.
- THE CONTRACTOR SHALL DO ALL RECLIENT DESANIONS AND TRECHOSON WAS AND THE CONTRACTOR SHALL ARRIVE AND TERESON THE THE THE THE THAT AND THE THE THE THAT AND THE THE THE THAT AND THAT AN ALL CONSCIONS TO DOMING SENDES SHALL BE FOR MANCHAL REQUIREMENTS.
  AND ALL COSTS INCLUDING TESTING AND/OR YOUR OF SENDES SHALL BE
  INCORPRACE TO THE JOB.
- WATER MAIN SPECIFICATIONS NATITE MAN SPECIPIONISMS SAMEL RE USED IN COMMENCION WITH THE CONTRA SPECIPIONISMS, THE WANDBLAM SPECIPIONISMS, AND THE COSTAL SPECIFIC TOWN DEFINICIAL THE THE CONTRIBUTION OF THE SPECIFICATIONS SHALL RE FOLLOWED.
- LIL MATER MAN SHLL DE RETHLID WITH A MARKAM COME OF DIE DIE DIE ALL MATERIAL DE MAN DE EUTILE 189 PPE, 1º DIAETTE AND SALLER, SE'LL CORPOR TO MOSÍAN PROTECTION COSICALATI, CLASE A. CONTRE IPON PRESE SALL CORPOR NES /ARM. SPEED-AIRS COSIA/CLAS TO COMPACT FIRST, LUCITE LES PPE, ALOI TIBING SALL MAK A. COCKE TACORES CREAT MOTIVE LINES CONTRIBANDO TO MAIS SENDENCIAIN ALTS. domenta los documentos non servicios const. Dec vio Longalios const.
- THE WATER MAN STANDARD DETAIL SHEETS OF THE COARDINAL AEDICY FO SPECIFIC THPE OF HYDRAM'IS AND VALVES TO BE USED FOR THIS PROJECT. TE DETAIL SPECITS ARE NOLUDED AS PART OF THE PLANE.
- YTT JEAT BONDS CONNECLICHÉ ELL" YAE NICHONAYT JO JAE TOU DICHOLICHE TO HE MEN MY LATH MEN CONNECLICHE DICHON RICHA MY LATH MEN CONNECLICHE DICHONAL RICHARD SHATT DE BOUNCE N BOJH JHE DICHON (3,) DIYAELIS CORSONAIDN BLOSS SHATT DE BOUNCE N BOJH JHE GORE ANY WATER WAN STITTLE MALL HE ACCEPTED BY THE CONDINAND COLOR, THE PREMITED HAS NOICATED ON THE WATER AN STANDARD DEFAL SHEETE. T PASS A PRESENT TEST COMPLYNO WITH THE CURRENT SPECIFICATIONS PROCEDURES OF THE ACROSTED BY THE CONTRIBUTIONS PROCEDURES OF THE ACROST.

## STORM SEWER SPECIFICATIONS, CONTINUED

- 18. OPEN NO MORE TREDICK IN ADVANCE OF PIPE LAYING THAN IS NECESSARY TO DEPERTIE THE WORK. CARE SHALL BE TAKEN NOT TO DECARNIT BLOW THE DEPTHS NECKTID ON DEALWRICK SHALE BLOCKSEN ON BUNATIONEED DECARNON TAKES PLACE BEAMED TO THE PROPER GAVE WITH COMPACTED BECOME MAINTENANCE TO THE OWNER.
- PROVICE PROJECT THEM SECTING, INJURIO AND SHORMA TO PROTECT SICKS OF DICAVATION, DO NOT BENACE SECTION AGAINST PIPE, PROVICE SATABLE LADRES FOR SAFE ENTRY TO AND DIT FROM DICAVATION. HACH HET DECANATION IS DECOMPTIBED. THE TREACH SHALL BE DE-WATTRED UHTL. THE PIPE HAS BEEN UAD AND BLOOPLLED TO A POINT AT LEAST 1 FOOT AUDICE TOP OF PIPE. BURNET DECAYATORY, MATERIAL SURFACE FOR BACOPILING SHALL BE PLED IN AN GROUND MANNET A SUPPLIED BURNANCE FOR BLACKET OF TROUBLE TO AND ONDELOADING, AND TO PREVENT SLUES OF CANCHINE. MYNCHEL PUR LACE-CYLL CHOCKLE MEN CYLL BON LYWEX" CONDET YND MYNCHEL PHE OK LACE-CYLL CHOCKLE MEN CYLL BON LYWEX" CONDET YND MYNCHEL RIDGE
- THE WALL PRODUCES OF MANHALIS AND CATCH MUSING CONSTITUTION OF MANHALIS AND SET AT VANIOUS DEPTHS SHALL BEST THESE MANHALIS AND SET TO RECURSIONISTS OF THE CONDINGO ADDICT IF THEY DICED THESE THOOCESSES
- WENDERS DOSTING MANAGES OR STREET PIES ASE TO BE TAPPED, DEEL HOLD A CONTIDE, TO CONTIDE AROUND THE PREPARTY OF OPENIOD TO DECAIL A PLANE OF MICAGESS JOHN DESCRIE DREAMAN SECTION OUT.
- ALL THERE SECTIVE BLUFF A PLANE 12" ABOVE THE OF PER SHALL REJAW I PLACE IN GROOT NOT TO DETURE PRIC GRACING. BUTCHE ENCOTLING, RELIAW I ALL OTHER SECTIVE BRACES AND SHORING. EIDS SHAT DE LYCLOMA INRIVITED IN DAK-CYZL ZUNGLINGT ID AYTTE SET FRAMES IN FULL INCO OF STRF MORTAR OR BITUMHOUS MASTIC JOHTHO COMPOUND AT FINAL DEVANION. PRIME DITTORIO DI LEANNO DIANACE STRUCTUROS SIALL DE ADCILIATA.) CATTO BY POLIND N-PLACE CONCRETE PLL FROM PIPE CONTEX TO STANDO GROANS.
- RELAKEDER OF TREMCH SAML DE DACOPILLE WITH SPECIFED BACOPILL MATERIA TO SPECIFED SEGREAUSE ELEVATION. INCOPILLING SAML DE COMPACTED TO SO OF MANMAM DRY DOMETY PER ASTM D-1957. SHIPM, I OF THE AN PRIMISED LINE OF THE BROWNING OF THRETTH, DRIVEN, PARRICUL LITER AND THE REPORTED HAD BEEN ARREST THREE BROWNING THE OFFICE THREE BROWNING THREE BROWNIN
- N PETIMALE SEL CONDITION, THEMET BLOCKS SHALL BE SUPPORTED IN PARADRIA OF THE CONTINUE SHALL SHA
- NINA, Y OF TIE, AT MILLIONE LIES OF THE EMPIRED OF TIESTIN, DINKE, NAME OF THE EMPIRED OF THE CONTROL OT THE CONTROL OF THE CO RELAYIOR OF TROOKS SALL IN INCOPILLIN WIN SPICETED INCOPIL MATTERN TO SPICETED SHORMACTED TO SPICETO SHALL BE COMPACTED TO SPICETO IN SOME MAXIMAL BICCOMPACTED TO SPICETORY DESCRIPTION OF MAXIMAL BICCOMPACTED TO SPICETORY.
- SANITARY SEWER SPECIFICATIONS
- PRESS SECURIORIOS SALL DE DESCRIPTIONS WILL DE CONTRAL PRECIDENTINOS AND DETAL SECURIORIONE MAD DETAL SECURIORIONE SECURIORIONE MAD DE CONTRAL DE CO EMEN PENG. ACCION WILL INSPECT THE INSTALLATION OF ALL SANTARY
- ANDORHO MEDIENTI, TOCAS AND FACITITIS SHALL BE PROVIDED AND UNED TOR MALDACHA AND DISTRIBUTHO MATERIALS ALCHO THE UNE OF MODE, ANY PIPE OR RITHING DALMACED IN TRANSPORTATION OR HANDLING SHALL BE RECECTED AND MALDANIELY ROJOYOD FROM THE JOID STIL. SEAL LACTATIONS TO LACADAL DYMYCE TO MYLEMYTE ESTIMBOL WO SHALL MEDICAL WAS THE CONTENTED BYTH 1995 THE STATE STREAM OF THE CONTENTS OF THE STATE STREAM OF THE STATE

- where unstable sol is discounted, contractor shall not place previous. A solio sed has been provided.
- WILL CONCIDES AND FOR INSPECTION.

  DELIVATION FOR DELIVACE STRUCTURES SHALL DETINO A SUFFICIOR OF DELIVACE CONTINUENTS AND FOR INSPECTION.
- DEJAVATION FOR STRUCTURES SHALL EXTEND A SUFFICIENCY OF WALLS, CONSTITUCTION OF WALLS, CONSTITUCTION OF WALLS, WHEN UNITABLE SOL IS DICOUNTED, CONTRACTOR SHALL HOT PLACE PRE-UNIT. A SOLID BED HAS BEDY PROVIDED. CHE SHUL RETHIND HOT TO DICKHITE BELOW THE ROPHISH MOCKITOD ON ROWNINGS. WIDE DICESSIVE ON UNUMPOWEED DICKHINDY THATS PLACE, THE ORDINOTH SHALL BE EMPOYELD AT THE POWER GHACE WITH COMPACTED BEDONG MATERIAL, AT NO EXPERIE TO THE OWNER.
- ONE WITH SHALL BE COMMINGED OF BRICK CONCRET MACHINE BID'S, AS MOICHTE ON DRAWINGS AND PROPERTY CONCRETE MACHINE BID'S, AS NOICHTE MACHINE AND PROPERTY MACHINE ON DRAWINGS AND PROPERTY MACHINE AND MACHINE ON DRAWINGS AND PROPERTY MACHINE AND MACHINE OF BRICK CONCRETE MACHINE ON THE ONE OF THE ONE RECK SHALL ME WET WASH LAND, LAY MENCE OR CONCRETE MACHINE IN THE TOWN THE WASH THE WEST LAND, WITH WASH THE WA COMPLIES FILL JUSTS ON PRE-CAST CONCRETE SETIONS WITH BITMHROUZE MATRIC CONTROL COMPOUND OR JUSTS SHALL BE MADE WITH COMPUT MORTAR WITH RESIDE PORTING AND CUTTEDE RUISSER WAAP.
- THE OUTSIDE SUPPLACES OF DRECK OR CONCRETE MASONRY PORTION OF CALLS SHALL BE PLACEDOTA AND TRONGLED SHOOTH WITH  $1/2^{\circ}$  LAYOUS OF COMOT MORTURE. ANT WILL STOPS SHALL BE BUILT WITD AND THOROUGHEY AND OFFICE TO WALLS SEPARATED OF POLICE SHALL BE ADECUATED BY POLICES SHALL BE ADECUATED BY POLICES SHALL BE ADECUATED BY POLICES SHALL BE ADECUATED TO MAKE THE PROPERTY TO ADMINISTRATION OFFICE SHALL BE ADMINISTRATION OF THE SHA PROTECT FROM BRICK WORK FROM PROTECTS, FROM DRYING EFFICITS OF SUN AND BRIGH SUCH THE AS DRECTED BY THE CONTINUENCE, DIGHOUS, HA PERSON WATHER, HEAT SUPPLICATION TO ROUNCE OX AN PROST FROM BRICK WORK.
- ALTERNAL OF THE MACHINE WAS ALTERNATIVE WAS A SET FRANCS IN FULL BED OF STRY MORTAR OR BITLARHOUS MASTIC JONTINO COMPOUND AT PRANT DETAINDOR.
- RACE ALL CONDETT AND DEVELOPING AN OFFICE PROPERTY AND DEVELOPING ONE SEC. THE CHARLES OF THE CHARLES
- אירוד זכ הספונאסטי אאס כסאגיעבונט אנוא העבואאוכאר טו ואאס אינו צריליכנט צאויעבואסלידל טא יאוד מסכו או אינואינאלי נא האינומאלי זכ צריסטאבט אינו מדמיאנט איאר, מסדנונונט ביאאיעונט אינומאלי ב מיסטאבוראס לאניאס צוואיבוואנצי 'אד נעמיצ' צוואי אואס מספר ב מיסטאורואס לאניאס צוואיבוואנצי 'אד נעמיצ' צוואי
- NO SAMPLARY SEMERI HISTALLATION ON PORTION THEREOF SHALL HAVE NEXTRATION DOCUMENT TOO GALLOG PER NON DIAMETER PER MILE OF PIPE PER 24 HOUR PERGO.

### WATER MAIN SPECIFICATIONS, CONTINUED

- PPE BEDGING, UNLESS OTHERWISE INDICATED, SHALL DE CRUSHED STONE OR RECUNDED CRANEL. BEDGING MATERIAL SHALL HAVE BOX PASSING A 3/4" SERVE AND SOX RETAINED ON A NO. 4 SERVE; LONG FACTOR SHALL DE 1.8.
- THRUST BLOOK, IF REQUEED BY THE MUNICIPALITY, SHALL BE MADE OF 3000 PS CONDICTE NET MIX C WILLS SHULL BE REMYDRED PRE-CUST CONCRETE BETTIONS NOLLIDING CONTRO ON DE SHOE SHOE SHULL BE 4000 PS CRETE AND CHAPE. XXVIV MOUN OF LUCKON ID IDS OF SALE SHATT BE YE LOTTONER

- LOAN RESTR. AND/OR SERVICE LEAD SHALL BE MARKED WITH A 2 WICH X 2 WICH X 8 PORT LOAD HANDWOOD MARKETS, PLACED VERTICALLY AT THE END OF THE PIPE. DOMERONIE, MEDY TEK, FOOTHIS DRANKE, OR ANY CONDUIT, THAT CARRIES STORM OF GROUND WATER SHALL NOT BE ALLOWED TO DISCUSSEE WITE A STREET HOW A
- ALL TIMERS SHETTING BOLDY A PLANE 12" ABOVE TOP OF PRE SHALL ROLLING.
  REMOVE ALL OTHERS SHEETING, BYACHIG AND SHORMA. BEFORE SHACKTLING,
  REMOVE ALL OTHERS SHEETING, BYACHIG AND SHORMA. HEN CONSCINOS ME MADE WIN ERVERS OF DIAMS CHAPPING FUELS.

  PECUL CHAE MET EL TAKEN PAUT PO PAUT OF THE WORK IS BULL I MODE

  WITCH. A FULME OR DHA MAST EK RETALLED MO PALAPHIS MARTINED, I RECEISANT, MO THE RES WERK KEPT DRY UNTIL COMPLICIED AND MY

  CHICAGO THE ON CONTRACT ON SET. U USED REA TROUGH MOTTOM SHALL BE COTTOMOD UP THE SECTS
  SHALL BE THOROUGHEY AND CHERTILY COMPACTED TO SECT OF
  HAT PEC THOROUGHEY AND CHERTILY COMPACTED TO SECT OF
  HAT PEC THOROUGHEY AND CHERTILY COMPACTED TO SECT OF
  HAT
- BITHE BUSTLEN AROUN WARELEY, ALL FROM THAN AND DISHE SHALL RE RACID TANKERCHALF ON ALL STOCK AF WARRAND WATERAL CASH LATER STANKERCHALF ON ALL STOCK AF WARRAND LATER CASH LATER SHARESTHED AND COMPACTED WITH ACCUMENTA AND KHAO TANFOLK. HINNEY OF MY 64 PRINDED IN COMMISSION OF STREET, PRINT, PR AVANCE CENTROL SALE E LACOTLE WIN STEPED BLOTE.
  MIDIAL AS APPROVED BY THE GERTICHNOL DIGNERS TO SECOTED
  MORRACE ELEVATION. BLOCKLINN SALE BE COMPACTED TO NOS OF
  MORRAL DRY DOCETY PCR ACTIN D-1557.

SPECIFICATIONS

1388 LUCY ROAD
PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIMINGSTON COUNTY, MICHIGAN

- HIND CORNER CONFORM CONFORM WHINCES OR SEND FIRST ARE TO BE THE AND A FREE AFT TO BE THE AND A FIRST AFT TO BE AND A FIRST AFT THE CORN FIRST A FIRST AFT THE ADDRESS AND A FIRST AFT THE ADDRESS AFT TO BEACHING A SEND FIRST AFT THE ADDRESS AND A SHAPE AND A S
- SAME DE STORTEL LO YEL LEGIE OU COLLINVIDA, LEGIE ON ITZE TEMET YRONE LIFE LOS OL LIFE SENDI ER RENDI (L) LEGI ON ITZE THE BENDER DE 34, DYMELIES OL CENT WHIDE LIFE ONCORD RAILS AL SCHOOL ONE 34" DAMEICK SHALL DE SUBJECTIO TO NELTRATIO TESTE, ALL SCHOOL DE TOP OF SINCH SE ONCE SENDE (7) FEET, SHITH LEVEL SUBJECTION TO AN INFELTATION TEST.

SANITARY SEWER SPECIFICATION CONTINUED

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE STORAGE OF ALL RECESSION PROCESSION THAT WORK, THE CONTRACTOR SHALL TAKE ALL RECOVERED THAT PREVENT DAMAGE TO MATERIALS EQUIPMENT AND MORE

- OPEN NO MORE TRENCH IN ADVANCE OF PIPE LAYING THAN IS NECESSARY TO DOTENTE THE WORK. OF PUR 24 DAMPHO CACHANDA MALDANE SALVEST CANE-HAE TO SHOUGHT WHICH WAS ON LICENSES OF L PROVIDE REGULARD THARDS SHEETING, DRIVENG AND SHORING TO PROTECT SIDES OF EXCAVATION. DO NOT BRIVES SHEETING AGAINST PIPE. PROVIDE STANDAY AND SUITABLE LACADES WHIDE REGULARDS. If bull is than not to distant slow the opting hospitid of medicate decayation thats place (or evaluations decayation thats place in order that place is such that place in the option of the option o
- wen wet doorwing is dicomition, he trong skall de de-waterd Unit, he ppe has bod ilag and dicopilid to a point at least 1 Poot above top of ppe. LL COMMERTING REMARKED IN THE SERVER PARE SHALL BE SECURED! A MADE THE COLORIST OF MANAGEMENT OF THE CAMBON BOOK COMMERTING MALE PARE COMMERCE SHALL BE REMARKED SHALL BE REPORTED SHALL BE REMARKED SHALL BE REMA THE TANK CHOOSENGS SHALL IS MOST IN 18° OF VELTCH PARTY SHALL SHOULD PARTY FOR THE PROPERTY OF PLACE PROTECTION OF THE SHOOT PARTY PROPERTY OF PLACE PROTECTION OF THE SHOOT PARTY PROPERTY OF PLACE PROTECTION OF THE SHOOT PARTY OF PROPERTY OF PLACE PROPERTY OF PLACE PROPERTY OF PROP
- SERVICE LEVICE SHALL TERMENTE (WITH AN APPROVED STOPPET) PER PLANS OR AS DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
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- B523 DAX GROVE ROAD HOWELL, MI 48855









REPROBLEM PRE-CLAT CONCRETE MANAGE RECTIONS NOLIDING CONCENTRA OR ECONTRE CONTEX AND REVOLVE PROSE SAVEL DE 1000 PSI CONCRETE AND CONFERSA TO ASTIN C-478 OR AMBRID M-104. SANTARY SENSY PPING AND PITTINGS SHALL SE OF THE SEE AND TIPE NOCATED ON THE DRAWNESS AND SHALL CONFORM TO THE REQUIREMENTS THE CONFERNING AUDICY.

GPDI NO MORE TRENCH IN ASYMMET OF PIPE LAYING THAN IS NECESSARY TO DOUBLE THE WORK.

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PROJECT NO:20-102 SCALE: N/A C-12.0

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HOT MUZED ASPIRALT (HALA) SHALL COMPLY WITH MOOT SECTION BOT OF פטיר ליפאירדו, כסיינטון, פירוד נסתיהרה אווא וואנ צבלתוצנסינטעום סו, וינסנו פנכנונאי

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THE MINISTELL IN, WITH THE APPROVAL OF THE OWNER AND ACCIONATE WAY.

PRIOR TO COMMENCIA THE DICHMATCH THE CONTRACTOR SHALL SUBMIT A PLA OF HIS PROPOSED OPERATIONS AND THAT SCHEDULE TO THE OWNER & OWNERS REPRESENTATIVE FOR THEIR APPROVAL.

E ANY INNOVAM SUBSURFACE STRUCTURES ARE DISCUSTRED DURBNO CONSTRUCTION, THEY SHALL BE MACENATELY BROUGHT TO THE ATTENDED OF THE OWNERS REPRESENTATIVE AND DESIGN DISDRESS PROFE TO PROCEEDING. NO FIL NAY DE PLACED WHILL THE DOPOSED SUFFACES NAVALE BEINA APPROVED BY THE CODITIONNICAL EDIDNETRY, ALL FL MATERIALS SHALL BE APPROVED BY THE GEOTED-NICAL ENGINEERY PRIOR TO PLACEDISTIC.

THE CONTRACTOR SHALL SUBMIT TO THE CONTRIBUTED AND ADMITTAL AND DESCRIPTION FOR CLASS FECTION ASSESSMENT MOTHER. MIX DESCRIPTION WHITE AND THE PROPERTY FOR THE PARTICULAR APPLICATION.

THE CONTRACTOR SHALL SISHIT, TO THE CHARTS, THO COPES OF MATERIALS COMPINATES. CORPERATES. CORPERATES. CORPERATES. CORPERATES. CORPERATES. CORPERATES. CORPERATES. CORPERATES.

CRUSHED ACCREDANTE DAME COURSES SHALL BE COMPACTED TO A DOMESTY ESTAIN TO AT LEAST OF PRICEINT OF THE MAXIMAM DRY DOMESTY AS DETERMINED BY ASTA D—1867 (ACCREDE PROCEIDY). 

EACH LET AND COURSE OF BITLEHOUS CONCRETE SHALL BE APPROVED BY THE COURTEMPORT DESIRED, PRIOR TO THE PLACEMENT OF A SUCCESSION COURSE OR LET. THE CONTRACTOR SHALL NOT PLACE THE ADDRESSATE BASE COURSE OF THE DETURNIOUS BASE COURSE, PROOF TO THE APPROVAL OF THE SUBGRADE BY THE BITUMNOUS CONCRETE PAYOURNT CONSTRUCTION METHODS SHALL CONFORM TO APPLICABLE PORTIONS OF SECTION SOT OF THE MOST STANDARD SPECIFICATION FOR CONSTRUCTION.

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THE BITURNOUS CONCETT SHALL BE PLACED AT A TRAPPORTURE OF THE BROOK THAN 200 HER HORIST THEN THE RECOMMENDED TRAPPORTURE OF THE BROOK PRODUCTS OR AS DIRECTED BY THE GOSTED-HIGH, DIRECTED. ON YEAR MADE MADETY THAT DE BARTO YAO UYOUTH DOLLYTH HE DE PROTONO YAO LANGO DANADOL PRANCIENT HE DE PARTO YAO UYOUTHUU BANTILOY LIK BLIMINOTE CONDELLE RYA DE BARTO YAO UYOUTHUU DOLLYTH HYO LOCTE BLIMINOTE CONDELLE RYA DE BARTO YAO UYOUTHUU DOLLYTH HYO LOCTE LO, BOTHNO OLDIVIDAIS SHATT BE VI, LIKE DROCKLICH OL, LIKE LOWGE, THOUGH CHAPPACH OF OFFICER OF THE LIKE THE LOWER THOUGH CHAPPACH IS WOUTH AND THE WITHOUT BETTING THE WINNESS TO SHAPPE WHITH THE WORLD AND THE SHAPPE HINDER CHAPPACH IN THE SHATT BE LINGUIGHTA YOU PRECIDENT.

SEPTICAT RALIZE SHALL RE INSERSO. TO HANCE THE CUTPUT OF THE PLANT, ROLLING SHALL COMINACE WITE, ALL ROLLING MOST AND CLARANTO, THE SERFACE OF CHAPTON TICKINE AND TRACE TO GRACE AND CROSS-SECTION, AND THE RETURED FELD DENSITY IS GOTANED. THE SPEED OF THE ROLLING SHALL AT ALL THUS, BE SUFFICIONLY SLOW TO COCUMENTS OF A ROLLING OF REVOITING THE BUILDING OF THE ROLLING, OR PROJ. MAY OTHER CHUSE, SHALL BE CORRECTED AT CHICK.

MAEDATILY DEFORE PLACHIC A SUCCESSIVE LET OR COURSE OF BITUMHOUS CONCERT THE PRECEDING LET OR COURSE SHALL BE CLEARED OF ANY DEDIRE OR STANDING WATER BY APPROPRIATE METHODS.

ANY BILLARICA COMPITE TAYS RECOVER LOOKE AND RECOVER OF THE PROPERTY OF ANY ENG PROPERTY OF ANY ANY CONFIDENCE AND RECOVER TO THE CONFIDENCE OF THE CONFIDEN NE CONTRACTOR SHALL PROVIDE AT LEAST THIS RELEASE FOR EACH PALCE PERMINED ON THE MORE. THE CONTRACTOR SHALL LIVE ADDITIONAL ROLLES IS REQUIRED TO DRIVEN THE SPECIFED PAYOLOGY DOISTY. IN JUENS HOT ACCESSEDE TO THE ROLLER, THE BITURNOUS CONCRETE SHALL BE THOROUGHLY COMPACTED WITH HOT HAND TAMPERE.

THE CONTRACTOR SHALL PROVICE A SHOOTH TRANSTICK DETWEEN DESTINO

TACTOR SAUL DEPOSE OF WATER IN A SAIT AND SAUTANY MAY TO TACODING ON MAJER TO PRISE CHIPMAIN PROPERTY AND SAUL PRISEAL OF THE LOCAL CONFIDENCE AND AUTHORN DEPOSE DECAMBON MAJER TO HOUR RETITIOL SEE DIOCEMA COMPINEL HOTEL FOR A RECEMBERATION

אינובא האביר פארד ובי הבס יצ נוד אט. אוד אט. נוד הטיבס אי עצמיר פארד ובי הרכם אינובאר בארד ובי הרכם אינובאר באודה על השמבט זו, אינובאר באודה בי הייבס אינובאר באודה אינובאר באוד ובי הייבס אינו כאוצעיבט על יצי נוד אינובאר באוד ובי הייבס אינו כאוצעיבט על בי באינו אינובאר באוד ובי הייבס אינו כאוצעיבט על באינובאר באוד ובי הייבס אינו כאוצעיבט אינו באינובאר באינו ובי הייבס אינו כאוצעיבט אינו באינובאר באינו ובי הייבס אינו כאוצעיבט אינו באינובאר באינובאר באינו ובי הייבס אינו כאוצעיבט אינו באינובאר באינו ובי הייבס אינו באינובאר באינו באינובאר באינו ובי באינובאר באינו ובי באינו באינובאר באינו ובי באינובאר באינו באינובאר באינו באינובאר באינובאר באינו באינובאר באינו באינובאר באינוב LIT.

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THE CONTRACTOR IS RESPONSIBLE FOR THE REJOVAL AND INSPOSAL OF, IN A LICAL MANNER, MAY TRICK, BRASH OR DESIGN THAT ARE WITHIN THE DESIGNATION CHILD WITHING AND FILLING AREAS TO BRING THE SITE TO PROPOSED GRADES. THE MATERIAL IN BETWEE AND LANGELAPING REALS SHALL BE SETTABLE TO SEPONT CHEMIN OF THE LANGELAPIN MATERIALS (THPICAL FOR THE LOCAL CLIANTO AND AS PROPOSED BY THE LANGELAPIC ARCHITECT.

THAN COAT SHALL BE APPLIED TO THE SHIPPACE OF PREMICUS LIFTS AND COLUMNESS OF STITULHINGS CONCRETE. AND TO SHIPPACE ABUTTING OR PROJECTING WITH THE STITULHINGS CONCRETE.

THE GRADING CONTRACTOR SHALL BLACKEL ALL PLANCHS LOT PLANTERS AND LINEA AREAS TO METER A CHACKEL THE A CHACKEL CARREST AND STOKES TO A CHACKEL THE A CHACKEL THE AND CHACKEL AND STOKES LANCE THAN 1 NICH IN CHACKETER.

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NINED SUBSIANCE SURFACE SHALL BE SHAPED TO INDICATED PROFILES INCL. BECASONARY, SMOOTH AND FREE FROM INSECULIAN SUBFACE ES AND SHALL BE SHAPED TO SUBSPIANCE ELEVATIONES. WED, WO GRACE SHALL BE PROTECTED FROM THE RECIPIED CLEVATIONS OF THE THAT THE PROPERTY TO SHALL DEPLACED TO THE RECIPIANT OF THAT THAT THE PROPERTY TO THE RECIPIANT OF THE RECIPIANT OF THE PROPERTY OF THE RECIPIANT OF THE RECIP

TO PREVENT ADMISSON OF THE BITUANOUS CONDICTE TO THE ROLLER, THE PREVENT SHALL BE KET PROPERTY MISSIONED, BUT DICKNOW WALL HOT BE POSITION.

BITUMINOUS PAVING SPECIFICATIONS RETURNOE SPECIFICATIONS WHERE APPLICABLE TO WORK UNDER THE SECTION ARE REFURNO TO BY ADMICIAATION AS FOLLOWS:

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THE MOST SELVEN AND SHALL CONSTRUCTION AND SHALL CONSEST OF
THM CHURCH AGREEMET. THE MEE OF SLAD IS PRO-BRITED.

CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS ALEX SAME MOTOR OF COMMANDER SAME HAS DECIDED BY HE CODE WAS THE COMMAND WHITE BATH HAS COOLD WAS THE COMMANDER SAME HAS DECIDED BY THE CODE WAS THE COMMANDER SAME HAS DECIDED BY THE CODE OF THE PART OF THE CODE OF THE COD THE ACCRECANT BASE MUST EXTEND A MINUAL OF 1" BEHND THE BACK-OF-CURB OF BETCHED EDGE OF PAYOLIDIT WHEN NO CURB IS PROPOSED.

ROTUSHIC SPECIFICATIONS WHOSE APPLICABLE TO WORK LINDER THIS SECTION AND ROTUSHED BY AUDIENAATION AS FOLLOWS: THESE SPICETION TO BUILL COURSE THE CONSTRUCTION OF ALL PARKEDITE DAYS AND CLITER, EXCENICE, EXPINE E VALUES, DEVICENT APPROACHES, AND LICAGO DOCK AREIS, AS RECKITED ON THE DRAWNICE.

MONEAN DEPARTMENT OF TRANSPORTATION / CURRENT STANDARD SPICEPICATIONS FOR CONSTRUCTION (MODI) AMERICAN ASSOCIATION OF STATE HOMBLY AND TRANSPORTATION OFFICIALS (AMERIC). מאסאנדנ אנוווועוד (אם)

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CLUMING. CONTRACTOR SAALL SLEAT, TO THE OCCITIONICAL DIGINIZA, JOS TOPALALAS TOR FACH RECURRED COMPIT-ACCORDATE NOTITUE. NEX DESIGN LOS WITH ALLOWABLE TOLEVANCES AS SPECIATED FOR THE PARTICULAR CATION.

TOTAL AIR CONTENT BY VOLUME: DK TO BK COMPRESSIVE STREMETH AT 28 DAYS: 3000 PS MINL OR AS NEICHTES ON PLANE.

ALL CONDITUED N CURB CONSTRUCTION SHALL DE PORTLAND COUDNT, THPE OR IA ASTAI D-100. CONSTRUCT CONDRETE CURBNO ONLY WIEN OROUND TEAPERATURE IS ABOVE SE DECREES F, AND BASE IS DRY. THE CONTRACTOR SHALL AT HIS DOODER FURNES SHAPLES OF FRICH CONCRETE AND PROVIDE SHIP AND SATE ACTION? FACULTED FOR COTAGNO THE YMPLES. C. SLUMP 3 NCH MAXIMUM, OR AS NOICATED ON PLANS.

LL READ-MOD CHESTER SEPARTS MAIT EL APROCOS DE 15C COMER EXT. 15C CARROL TRANSPORTE DE 15C CARROL ARROL CHESTER CARROLLOS (PROCA). P. EXCLUSION DE 15C CARROL ARROLLOS CHESTER CARROLLOS (PROCADOS LACASION DE NATIONA PARA LLES PROCE SILAJA IN 2007 OF SPERIO SERV. AND CHEST REGULATION AS JAN TERROLLOS DE 15C CARROLLOS DE 15C CARRO WATER USED IN CONCRETE SHALL MEET THE REQUIREMENTS OF MOOT SECTION DIT. AN EXTRANSIO ADMOTURE SHALL BE SELECTED FROM THE MOOT QUALIFIED PRODUCTS LIST.

REJOY-HOOD CONDETT SHALL BE BATCHD, MOOD AND TRANSPORTED IN LOCKEWARD WITH JATTH OPK, AND COMEY! WITH JAZ 304 PECCHARDOOD PALCTIC FOR MELABURGA, MODE, TRANSPORTING AND PLACHE CONDETT, DOOD'T AS OTHERWISE SPECIFIED HERGIN. NOTION TO USE OF YOUR DESIGNATION OF STATE OF ST IS COMPLETE SALL SAME A ANTAINOT OF PROJECT FOR EXPENSE CONTROLL FROM THE CONTROL SAME AND THE CONTROL FOR AN OF WORST OF CONTROL SAME AND THE CONTROL FOR AND CONTROL FOR CONTROL FROM THE CONTROL SAME AND THE CONTROL CONTROL FOR CONTROL SAME AND THE CONTROL SAME AND THE CONTROL CONTROL FOR CONTROL SAME AND THE CONTROL SAME

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READY-MOOD CONDETE SHALL BE MOOD AND DELAPTED TO THE POINT OF

SOMERIE DEMOED N COLD WATER (AN TOMPRATINE CH-CERRETS F, MA ORRE) SHILL HAKE AT TOMPRATINE NO LIZES THAN CHECKETS F, AT THE ORRES CHANGE AT THE JOB, AND N COMPLIANCE WITH ACT 2008 "COLD BATTERS CHANGE HAT CHANGETE FLANG ME HOT BE POMPTED WEST HER ME TOMPRATINE STATEMENT OF CHANGE.

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BITUMINOUS PAVING SPECIFICATIONS, CONTINUED INC CONTRACTOR SHALL CHERTLY HAKE ARRISE METROL OLD AND KNY
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THE CONTRACTOR SHALL TEST THE PAISHED SUPFACE OF EACH BITMANDUS CONCRETE COURSE FOR SHOOTHNESS, USBN A 10 FOOT STRACHTIDEA, APPAID PARALLA, WITH AN AT REPORT MALES TO CONTRIBLE OF PANCE AND AND SUPFACE SHALL NOT BE ACCEPTANT IF EXCELLING THE POLLOWING TRUTHANDS FOR SOCIOTHNESS OF SHOOTHNESS.

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ALL CONTRACTION JOINT SEALTS OR COLD APPLIED JOINT SEALTS, WITH GOADNO ADRIE SMLL RE PACIDO RE LIBERGO AT VINCENT PORTER NO CREE RELIBERA AT RETURNINGA AT ERRIC RESTORMENT CONTROLLED RESTORMENT CHAPT SMLL RE AT PIECE PRE-PARRO ADRIT FALLE STREAM AT RESTORMENT SMLL DELIGO TRE FLATON OF THE ATT AT RESTORMENT CHAPT SECTION OF THE ATT AT RESTORMENT OF THE CONTROLLED RESTORMENT OF THE ATT AND WICH AT THE CONTROLLED RESTORMENT OF THE ATT AND WICH AT THE ATT AT A THE ATT AND WICH AT THE ATT AND WICH ATT AND WICH AT THE ATT AND WICH AND WICH ATT AND WICH AND WICH ATT AND WICH AND WICH ATT AND WICH ATT AND WICH AND W THE CURNO COMPOUND SHALL BE A WHITE PARAFIN BASED COMPOUND SELECTED FROM HOOT'S CHAPTURE AT 200 SQ/FT/CAL.

STANTA INDUSTRILL JOHT GROOME WITH JOHT SEALDR TO PREVENT EXTRUSION OF THE SEALUR, INSURANCE EXCESS JOHT SEALUR WATERALS AS SOON AFTER SEALUR AS POSSIBLE. FIGSAL PLADD CHARTE SHALL BE PRITTED AS REQUED TO MARINA
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ALL TORKS, RAUS AND STANCE SHALL BE ROLLOFO WITH 24 HOUSE AFTE PALCOTILE HALL BE MADDATELY BLACKFILE SHALL BE MADDATELY BLACKFILE ON SPRAND WITH CURRED COMPOUND. IN IT SAME PRINTEDS. WAS IN TRANSPARED OF THE INDOPACE OF THE

ALL HET MAUS AND CEMPETT PANSIONTS SALL EE PACKED DRAY ON A PERFAND SUBSPACE, SHORNING AND LIKELED TO THE GARCES ETHALISED IN PERFANDERS IN CAN PAUL THE AUBSPACE SHALL BE CEMPAINTS A-SHORLIS DELTA THE SECRECUL AUER, AND TILLED WITH APPROVED SAND METTING MOST CAUSE IL SAND CEMPAINTON. ALL COLEME USED IN SOCIALIK CONSTRUCTION SHALL BE PORTLAND COLEME, THE LOW IN VALUE OF 100. ALIES CONCILI CHER CITAT WO STAT TOKIZ.

ALIES CONCILI CHER CITAT WO DURE KIZITING LICH SACIND MOR

CONSTRUCT CONCRETE SARFACE COURSE CHILY WHEN GROUND TOURDINITIES IS PROOF TO PLANK IN TO CONCERT, ALL DESECT STOKES, BRYL, CIT., SHALL RENOTED WIN NATURAL SHALL BE KNOTHOU WIN NATURAL SHALL BE KNOTHOU WIN TOWN PRODUCTS OF WATER. HO CONCERT SHALL BE FLACED TOWN PRODUCTS OF WATER. HO CONCERT SHALL BE FLACED TROOMY SUBSEQUE. THE SAME IS TOWNS THE STREET OR AWAY FROM BULDINGS WITH A MORESS SLOPE OF STREET HER TOUT OF WORTH AND A MORALING MORE SLOPE OF TOWNS AND A MORALING THE STREET OF MORE AND A MORALING THE SAME SLOPE OF TOWNS AND A MORALING TOWNS AND A MORALING STREET OR LISTS.

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ELLE UNEER HOURD OTHERWISE.

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STIME ADVENUES SAIT RE SHONDED IN THE SHAVEN ASSESS TO YOUR MET HE WOULD NOT WET NOT BE CONTROL PASSESS TO SAIT THE REGISTED WOTH WET NOT BE ALTONED. D CHAILL OF SCHOOL BY THE AM PARFORD A TOTAGES SHAWN-THE STATE OF THE SCHOOL BY THE SCHOOL BY THE SCHOOL BY STATE OF THE SCHOOL BY THE SCHOOL BY THE SCHOOL BY SCHOOL BY THE SCHOOL BY SCHOOL BY THE SCHOOL BY THE SCHOOL BY SCH

SPECIFICATIONS

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PART OF SE 1/4 OF SEC. 1, T2N-R4E
MARION TOWNSHIP, LIMNGSTON COUNTY, MICHIGAN

DOSTING MANGRICE OR STREPES WHICH ARE TO DE ADMINIONED OR ROMONED SHALL DE CONLITEMENTO OR COSCURED BY THE DEST METHODOS SATED FOR THE PURPOSE AND TO THE SATISFACTION OF THE OWNERS OR OWNERS'S REPRESENTATIVE. WANT METERS, PRINCELOS OF THE JAME, THE COSTION SERVICE SHAME
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CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

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TRAFFIC LANE AND PARKING LOT MARKING

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ERN BROCKWA 23 DAK GROVE ROW HOWELL, MI 48855

Medigan's One-Cal

Mahry

### **Dave Hamann**

From:

Cheryl Range

Sent:

Saturday, April 17, 2021 6:04 PM

To:

Larry Grunn; Dave Hamann; Jessica Timberlake; Jim Anderson; Bruce Powelson; Bob

Hanvey

Subject:

Newly done Master Plan

Hi All.

Larry and I were discussing some questions regarding the newest M. Plan on line. First, Jessica, your pictures are very nicely done and truly an enhancement of page layout. YAY, for what you did for us !!! Thank you from us!

We would like to see the return of the previous Plan pages that had the aerial map layouts of our development sites (pgs. 56 - 67 from the 2019 version) pictures of Turtle Creek, Crystal Wood, The Meadows etc..

Pg. 20 - The Ag Land first Paragraph / last sentence Map 6 is now Map 5 (due to previous changes / deletions.) Last paragraph of Soils / 2nd to the last sentence Map 5 is now Map 4.

Pg. 23 - In the new M Plan is the Residential Development Map (Map #7 ... 2nd paragraph / last sentence still denotes Map #7 which is no longer on any pgs. It used to be the High Nitrates Map (previous M Plan handout on pg. 27.)

Pg. 26 - See Map 6 not Map 9.

Pg. 39 - The last paragraph contains the sentence regarding Wooly Bully being located at Lucy Rd. and National St. area instead of

being included in the following paragraph at D19 south of I 96 area. (pg. 40 - 1st paragraph.)

Pg. 76 - Last paragraph mentions Map # 13 ... It is now # 10.

Pg. 77 - Pg. 80 ... Same ... not 13 but, 10.

Pg. 81 - End of 1st paragraph Map # 14 ( or # 11 ... Liv. Cnty. Comprehensive Plan )

Might there be somewhere we can mention our township not being inclusive to Tiny Houses since we've had the request for them brought up to our PC? Just to cover it in our M Plan (?) or are our designated residential building language of land parcels at (1 or 2 acres) along with the 1,200 sq. ft. minimum living space already clarifying this?

That's it, I think ... unless ... Larry, I forgot something (if so, sorry!!! 🗐)

Take care, stay safe and Thanx for reading this !!! Cheryl 'n Chairman Larry

# Michigan awards \$1.8 million for urchase of development rights

Michigan correspondent **By Kevin Walker** 

ment, Brost said.

local governments to help complete the purchase of development rights of farmland. Purchase of development gan farmland preservation fund board has awarded \$1.8 million to several nancially compensate willing landown-LANSING, Mich. - A state of Michirights programs provide a way to fiers for not developing their land.

the state program, 49 percent from the

USDA conservation easement program as well as a portion from the respective township governments. "Webster pose," Lonik stated. "Voters passed on

three separate occasions by at least 60 percent. We've also been very thankful

Township has a millage for this pur-

Although the program allowing the creation of permanent agricultural conservation easements has been gram was not sufficiently funded for about 10 years, according to Elizabeth Brost, the conservation easement Preservation Program, However, starting in 2016 there was a new funding ments. "In 2016 we got sustainable the funding every year from now on for in place since at least 2005, the procoordinator for the state's Farmland mechanism to help pay for such easefunding," Brost said. "We should have \$2 million plus."

For this cycle, 24 local programs were eligible to submit grant applications for funding from the state. According to Barry Louik, a consultant for Webster Township and Scio Township - each located due west of Ann Arbor, Mich. - there were 12 applicants for funding and seven of those received grants. Grants can only be awarded to municipalities, not individuals or other entities.

To qualify, a county or township ered under a master plan that includes farmland preservation, passed a purmust have zoning authority, be covchase of development rights andiman

Arbor, Mich. area and the Traverse Brost noted that any land in the Ann City area are quite expensive due to development pressure. According to Lonik, the Scio Township and Webster Township properties are receiving 26 percent of their required funding from

Kuhn FC 4060 TCR mower conditioner

Kuhn GA 4221TH Rota

Kuhn SR110 Wheel Rake w/kicker wheel

ect that we've ever taken on, but we're confident now that we can do it, "The state award was really key to do-

ing this."

thanks to the state award," Lonik said.

"At \$3 million, it's the biggest proj-

Lonik added. He explained that with-

to tap into the state program money,

out the state grant, the Scio Township

project could not have happened.

tion fund board and the program, visit

www.michigan.gov/farmland.

To learn more about the preserva-

Kuhn GA 4220 TH Reta

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COED PLANTER SALE





2010 Kinze 3660, 16 bulk fill, hyde drive COMINGING ship – each located due west of Ann Arbor, Mich. – there were 12 applicants for funding and seven of those received grants. Grants can only be awarded to municipalities, not individuals or other entities.

To qualify, a county or township must have zoning authority, be covered under a master plan that includes farmland preservation, passed a purchase of development rights ordinance and created a plan for monitoring conservation easements. Local programs are selected for state grants based on a scoring system adopted by the board, which focuses on quality agricultural parcels and program achievements.

The grantees included, Scio Township in Washtenaw County (\$825,000), Ottawa County (\$157,000), Kent County (\$201,294), Webster Township in Washtenaw County (\$200,000), Washtenaw County (\$244,800), Eaton County (\$46,725), and Barry County (\$130,000). Those farmland preservation programs will preserve 730 acres.

Farmer Mark Amsdill has sold development rights to his 120 acres of farmland in Webster Township, Mich. "It's what our parents would have wanted," Amsdill said. "My father was huge into farming. My father and mother passed, but it's what they both would have wanted. I feel great about this. I haven't heard anything negative about this program at all."

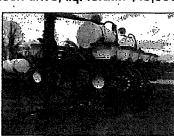
Amsdill said if he wants to he can still sell the land to another farmer, and he plans to do so at some point. He explained the purchase of development rights is the retail value of the land less the agricultural value of the property. As an example, he said if the retail value of the property is \$9,000 per acre, and the agricultural value \$3,000, then he would receive \$6,000 an acre for the development rights.

The fund will distribute \$1.8 million in grants covering up to 75 percent of the costs to purchase the development rights on the properties. In order to qualify for funding, the property must be an active farm. The state program also helps pay for some of the closing costs associated with the conservation easements. Local governments must come up with matching funds, however, a federal program at the USDA, called the Agricultural Conservation Easement Program, also awards grants for that purpose and money from that program can be used to satisfy the local matching require-

### voud e like len orli



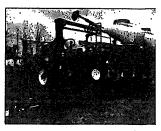
1994 Kinze 2000 8 row corn, Mech drive, liq. fert..... \$16,900



2011 Kinze 3500, 8/16 corn/bean, individual hoppers, liq. fert., Mech....\$49,900



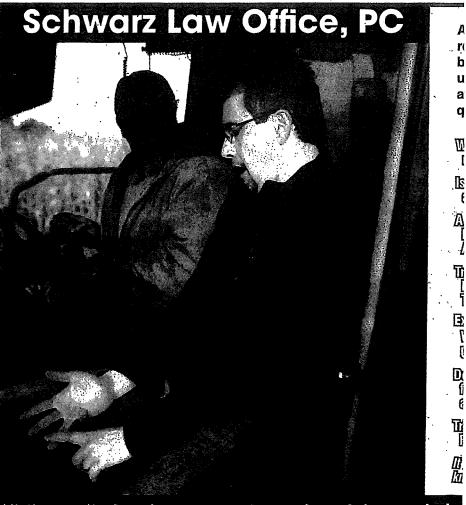
2001 Kinze 3200, 12 row corn, Mech drive, liq. fert....\$29,900



2011 Kinze 3600, 12/23 bulk fill, no-till, Mech.....



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